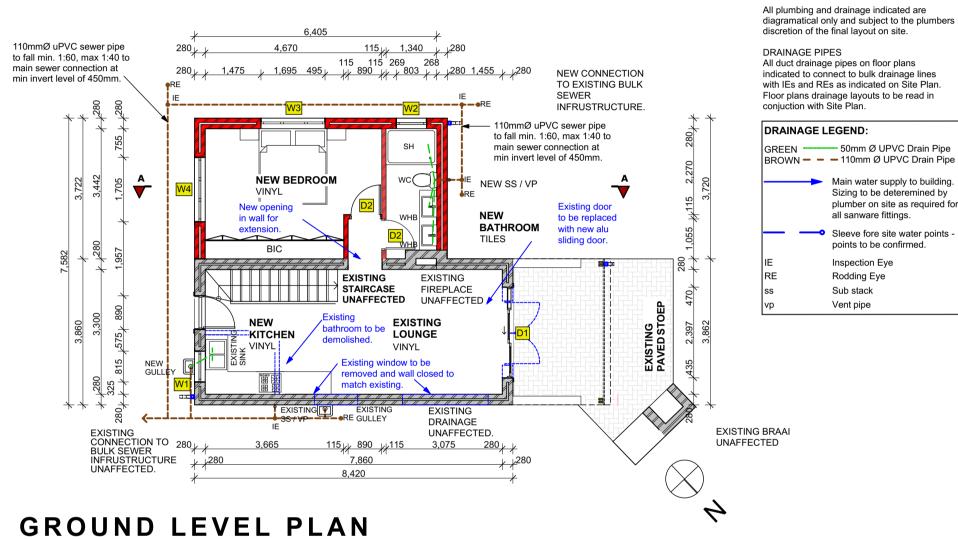
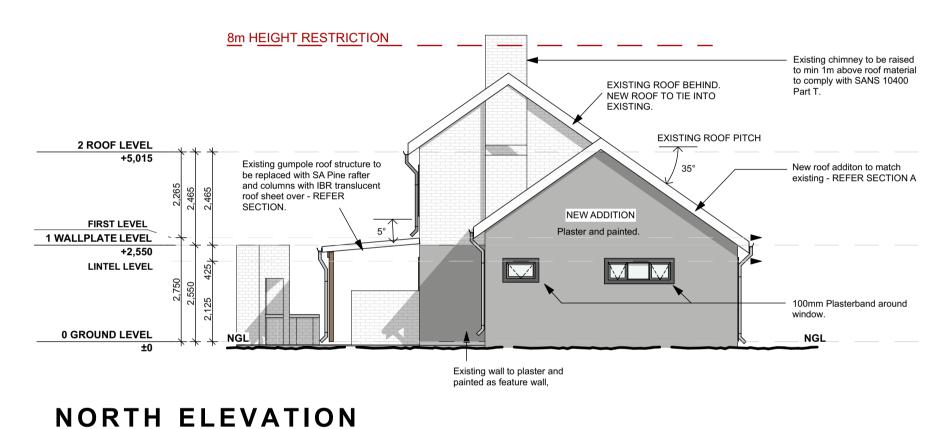
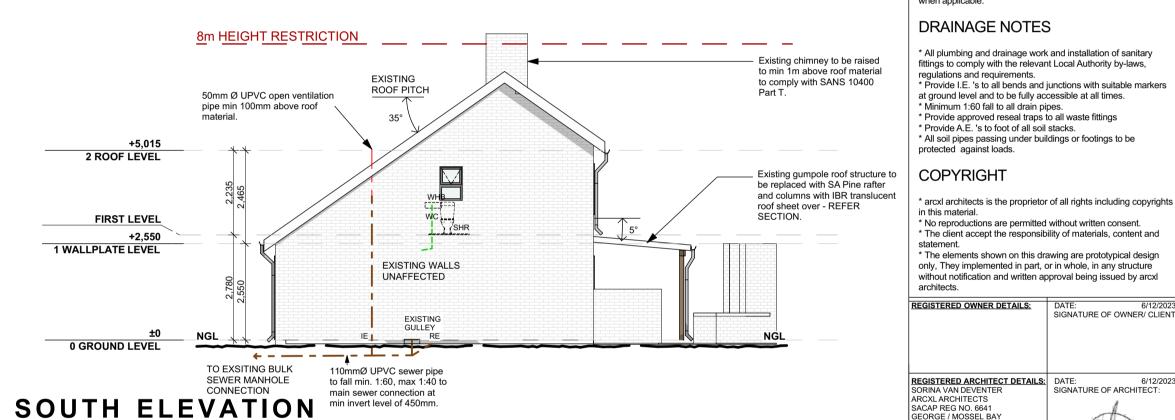
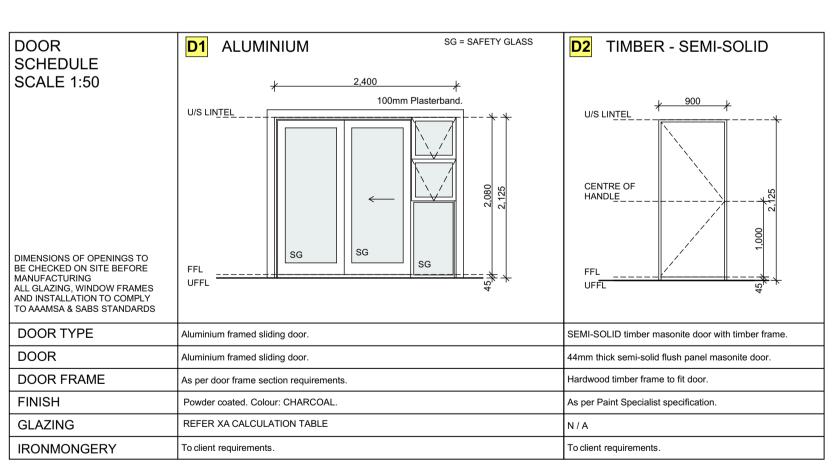


Hot Water Services

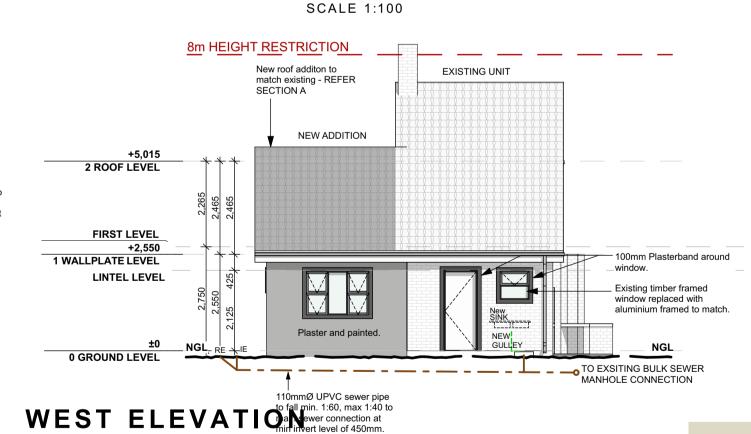




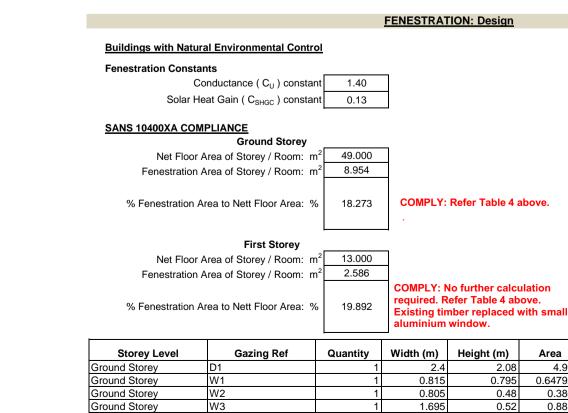








	1	2		3	
	Total fenestration area for each storey/nett floor area for each storey (%)	U-Value (W/m².K)	Maximum solar heat gain coefficient (SHGC)		
			Vertical fenestration with West, North- West, North, North-East and East sector orientation (see figure 2)		Vertical fenestration with South-West, South and South-Eastern orientation (see figure 2)
	()		With shading in accordance with 5.2.2	With no shading or not in accordance with 5.2.2	AII
	≤20 %	Any solution	Any solution	Any solution	Any solution
	≤ 25 %	5,20	0,66	0,49	Any solution
	≤ 30 %	4,40	0,53	0,44	Any solution
	≤ 35 %	3,80	0,49	0,40	Any solution
	≤40 %	3,30	0,44	0,35	Any solution
	≤45 %	3,00	0,40	0,33	Any solution
	≤ 50 %	2,60	0,35	0,30	Any solution
	≤ 55 %	2,40	0,33	0,28	Any solution
	≤60 %	2,20	0,30	0,25	Any solution
	>60 %	2,00	0,28	0,22	Any solution



Ground Storey

First Storey

	DRAWING STATUS								
	MUNICIPAL SUBMISSION								
	PROJECT TITLE								
PROPOSED ALTERATIONS									
	AND ADDITIONS TO UNIT								
		G ′	174	4 TIPE C					
	FOR THE								
	PROPOSED NEW RETIREMENT RESORT PTN 41 THE FARM RONDE VALLEY 187 SEDGEFIELD								
	DRAWING DESCRIPTION								
U	NIT	G 174	TIP	E C LAYOUTS RE					
	SCALE		AS	SHOWN					
	DATE		DA ⁻	TE OF 1ST ISSUE					
		_		00.0004					

19-03-2021

Andrew Schenk

Andrew Schenk

Andrew Schenk

www.arcxl.co.za

PROJECT NO: DRAWING NO: REVISION

A R C X L ARCHITECTS

AREA SCHEDULE <u>UNIT G 174</u>

17 270m²

25m² 25m²

25m²

25m²

25m²

17m²

10m²

49m²

13m²

62m²

17 342m²

EXISTING COVERAGE ACTUAL:

NEW COVERAGE

GROSS BUILDING AREA:

EXTERNAL WALL AREA

STAIR AND DOUBLE VOLUME CALCULATED ONCE

MEASURED TO INSIDE OF EXTERNAL WALLS

INCLUDED:

GROUND LEVEL

FIRST LEVEL

IEW (COVERAGE)

OVERED PATIO

NEW TOTAL GBA:

NETT FLOOR AREA:

GENERAL NOTES

boundaries, building lines, etc.

* All building work to comply with SABS 0400

* No dimensions to be scaled or scanned from drawing

* Where applicable the contractor is to check on site

* All dimensions to be checked on site before any work is put to

the size of components to be manufactured prior to installation * Contractor is responsible for correct setting out of the buildings,

all external and internal walls with particular reference to

* Contractor to verify all levels, heights and dimensions on site

and to check the same against the drawings before putting any

* Contractor is to locate and identify existing services on the site

and protect these from damage throughout the duration of the

* Contractor is to build in approved 4 ply D.P.C. weather or not

these are shown on drawings, to all walls at each floor, beam or parapet level and to all windows, doors, grilles or other openings

in external walls.

* Any queries arising from all the above must be reported and

* This drawing to be read in conjunction engineers drawings

All plumbing and drainage work and installation of sanitary

fittings to comply with the relevant Local Authority by-laws,

at ground level and to be fully accessible at all times.

* Provide approved reseal traps to all waste fittings

* All soil pipes passing under buildings or footings to be

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Provide I.E. 's to all bends and junctions with suitable markers

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The client accept the responsibility of materials, content and

* The elements shown on this drawing are prototypical design

SIGNATURE OF OWNER/ CLIENT

only, They implemented in part, or in whole, in any structure without notification and written approval being issued by arcxl

* Any errors, discrepancies or omissions to be reported

clarified before any works is put in hand.

DRAINAGE NOTES

regulations and requirements.

protected against loads.

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in this material.

GEORGE / MOSSEL BAY PO BOX 13258 Garden Route Mall

REVISIONS

ISSUED

Height (m)

DRAWN BY

CHECKED BY

ARCHITECT

REV 0 6/12/2023

Minimum 1:60 fall to all drain pipes.

* Provide A.E. 's to foot of all soil stacks.

GROUND LEVEL

FIRST LEVEL

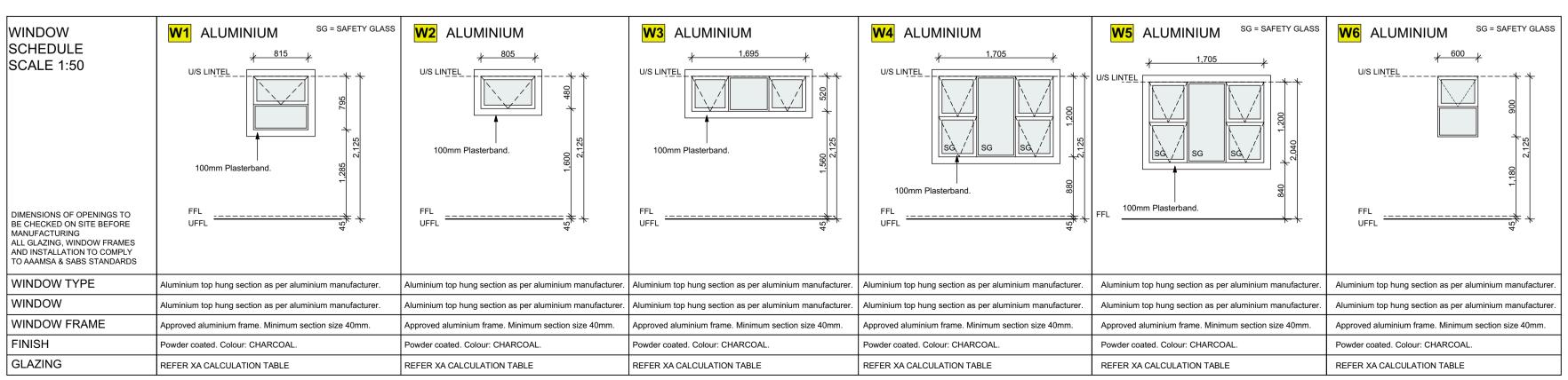
TOTAL GFA:

work in hand.

when applicable.

TOTAL EXISTING GBA

G168



Main water supply to building.

plumber on site as required for

Sizing to be deteremined by

Sleeve fore site water points

all sanware fittings.

points to be confirmed

Inspection Eve

Rodding Eye

Sub stack

Vent pipe