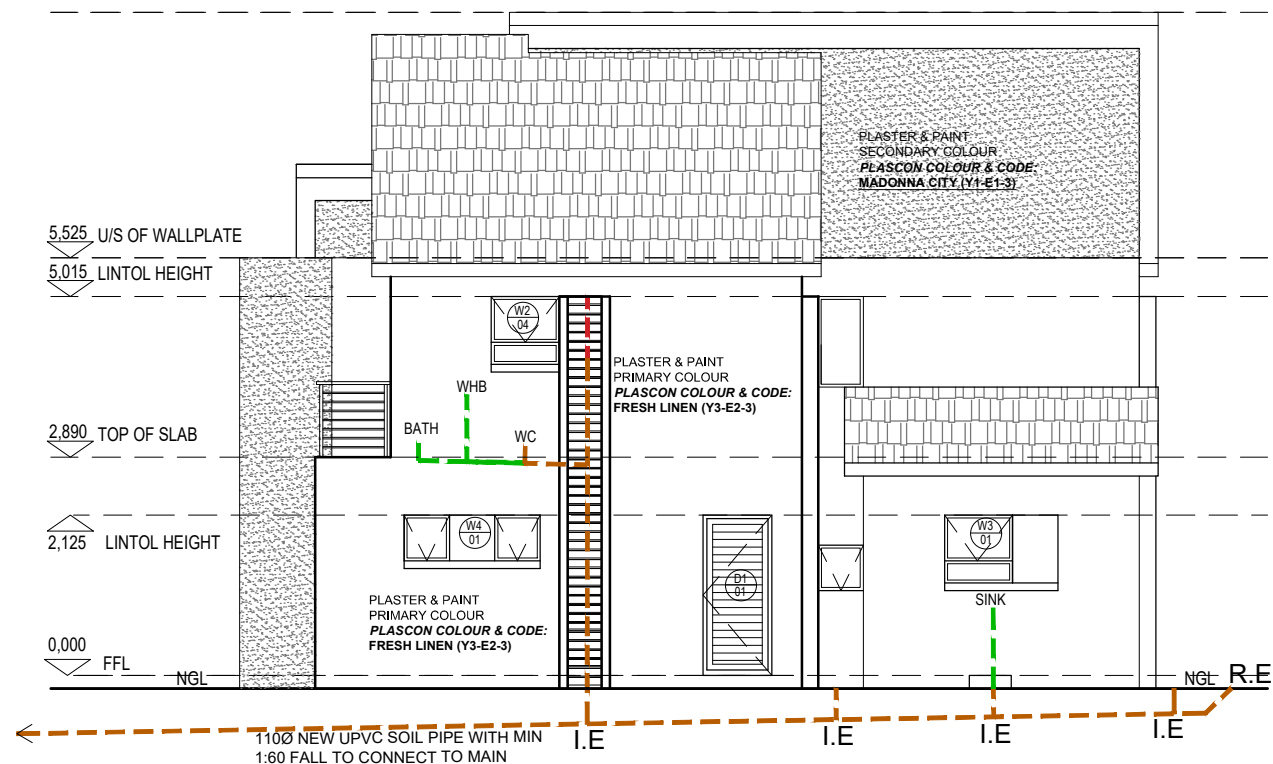
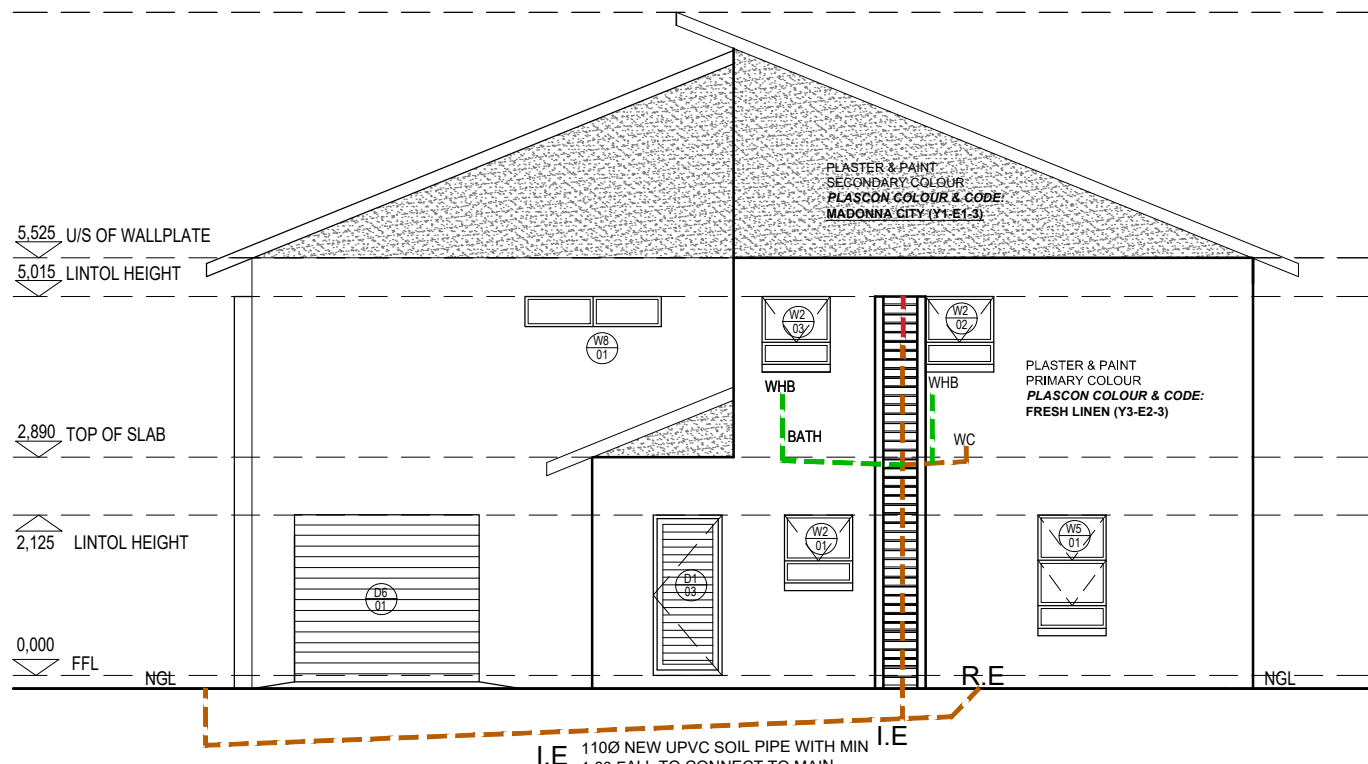


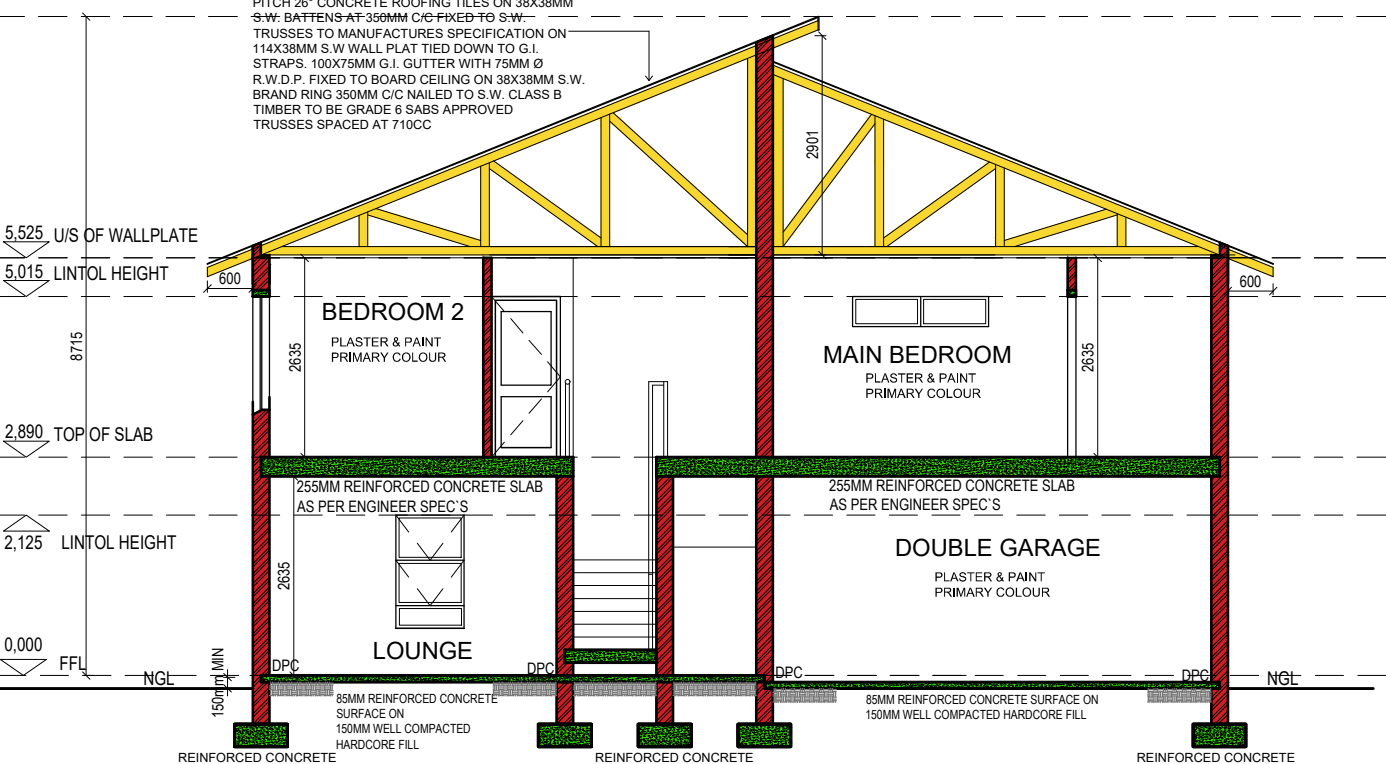
TYPE 4



SIDE ELEVATION
SCALE 1:100

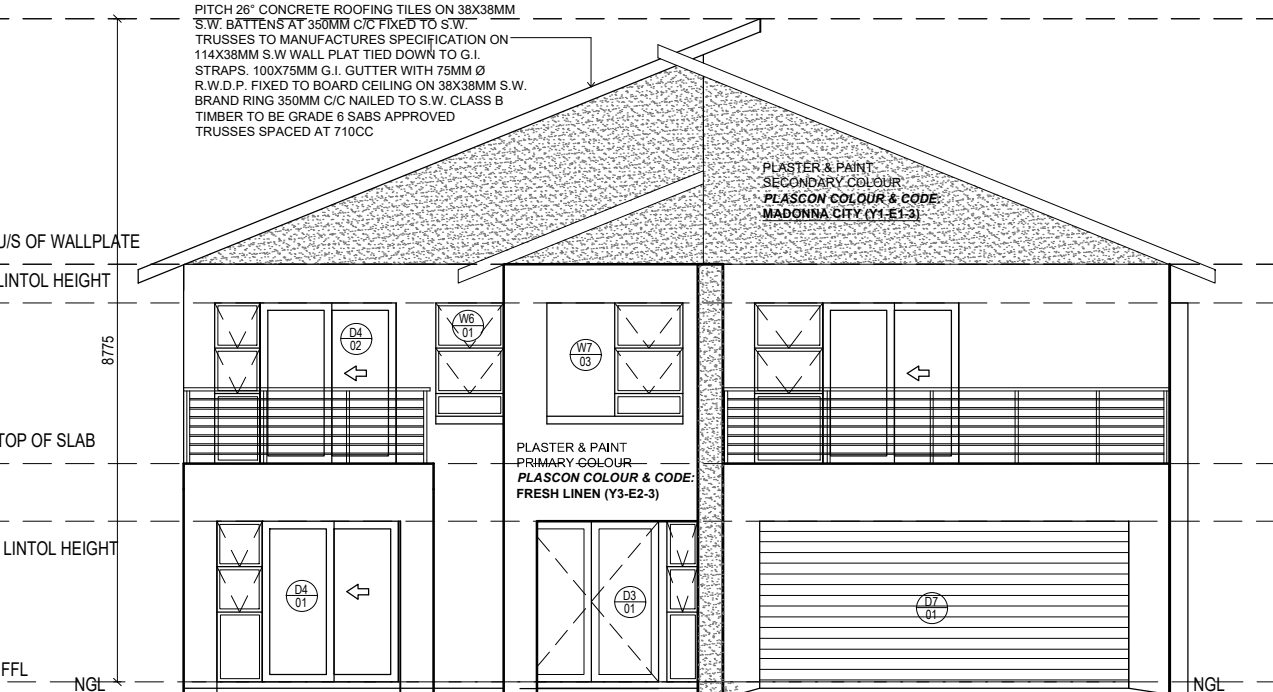


BACK ELEVATION
SCALE 1:100

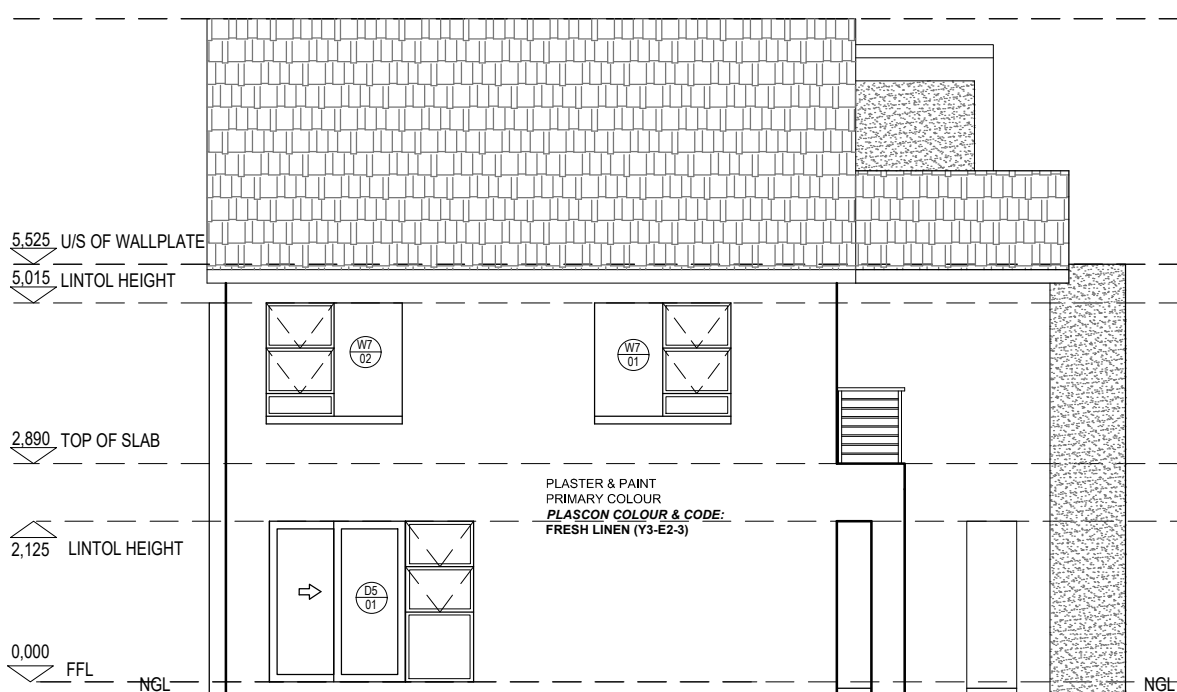


SECTION A-A
SCALE 1:100

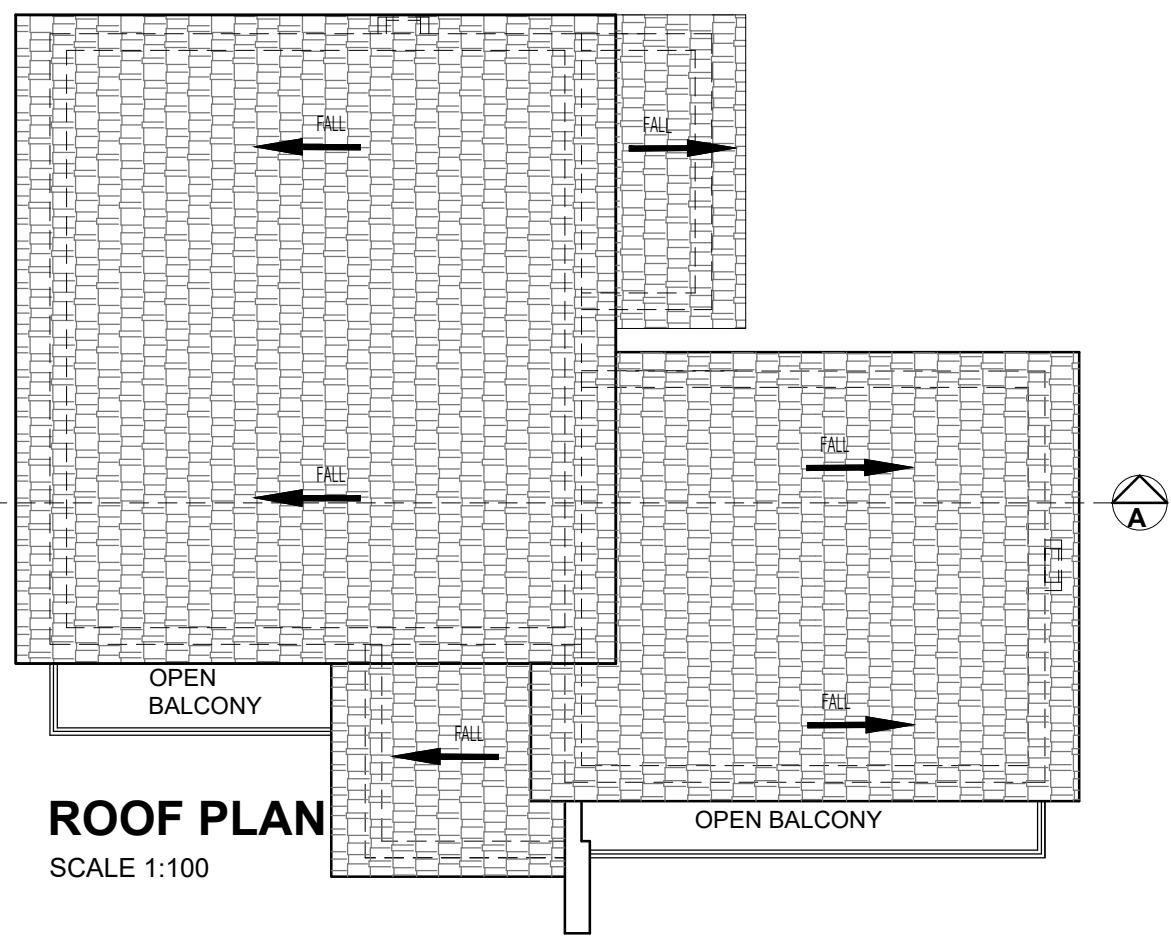
EXTERNAL FINISHING SCHEDULE	
	CONCRETE TILES ROOF @ 28° COLOUR & CODE: GRAY
	PLASTER & PAINT PRIMARY COLOUR PLASCON COLOUR & CODE: FRESH LINEN (Y3-E2-3)
	PLASTER & PAINT SECONDARY COLOUR PLASCON COLOUR & CODE: MADONNA CITY (Y1-E1-3)
	ALUMINUM WINDOWS EXTERNAL FINISH & COLOUR: BLACK MANUFACTURER / SUPPLIER: AGI ALUMINUM RANGE: CLASSIC TOP HUNG
	WOODEN DOOR IN WOODEN FRAME VARNISHED: WOODCO 20° DARK BROWN RANGE & MANUFACTURER: MC DOYS DOORS & WINDOWS



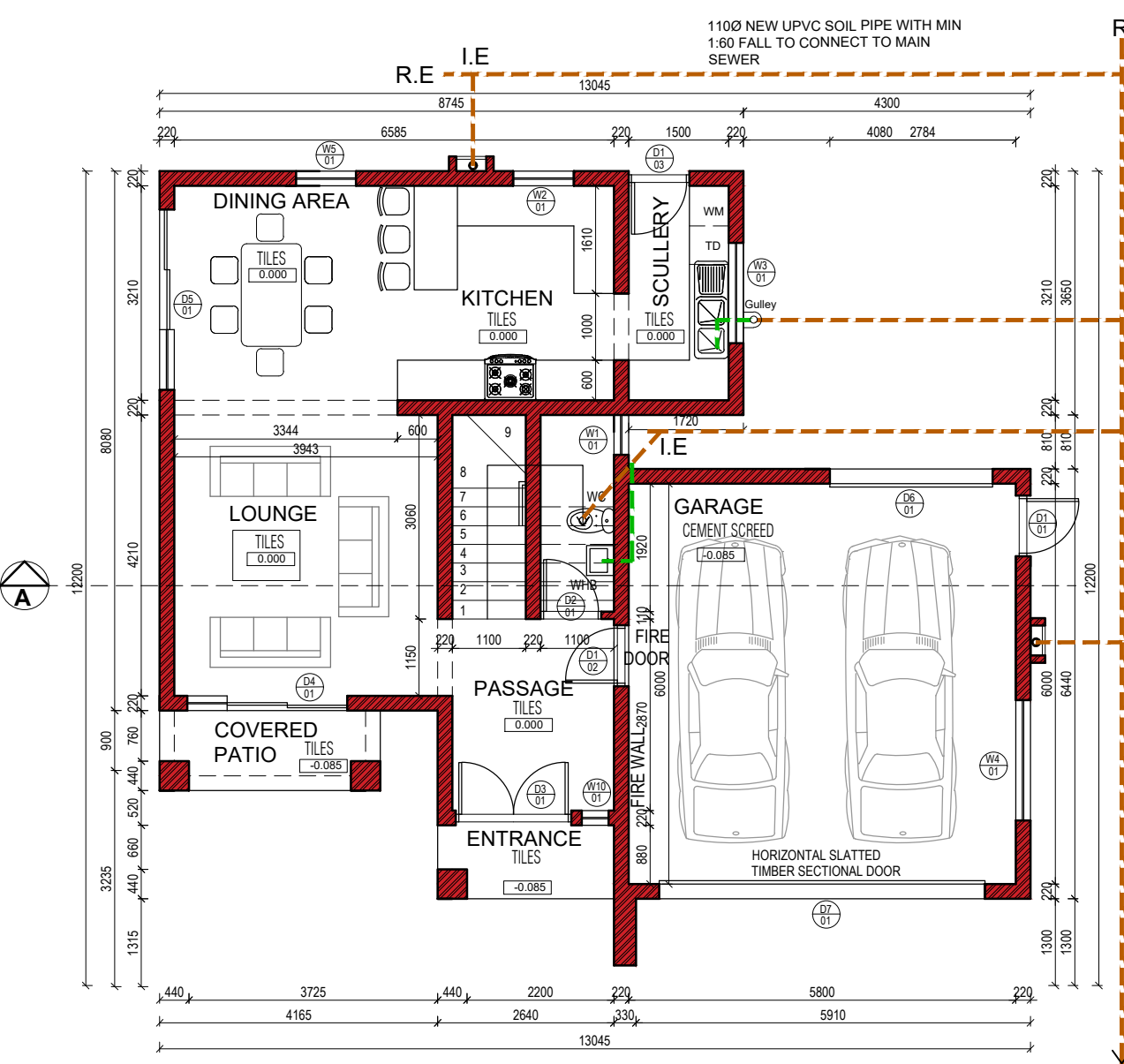
FRONT ELEVATION
SCALE 1:100



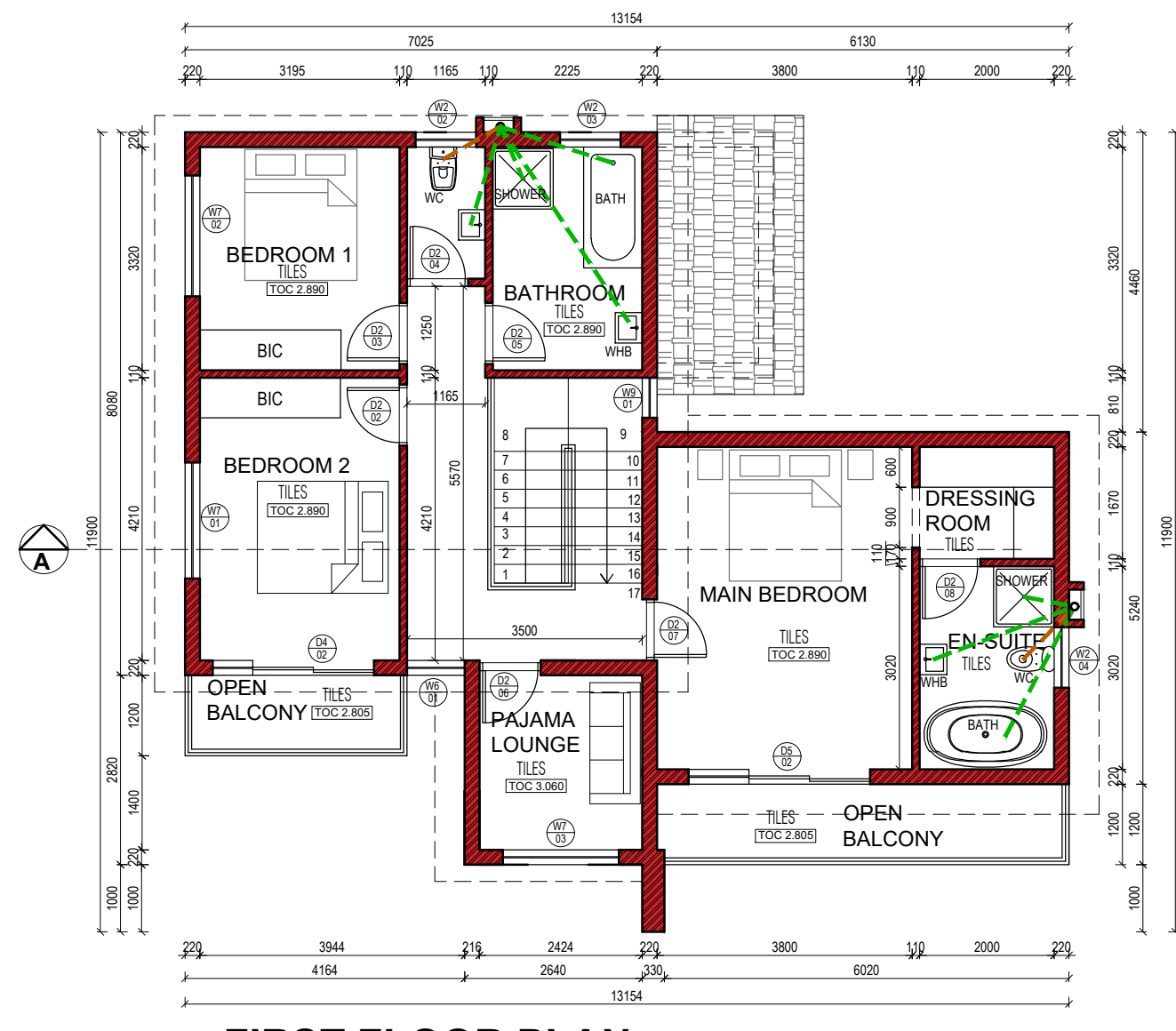
SIDE ELEVATION
SCALE 1:100



ROOF PLAN
SCALE 1:100



GROUND FLOOR PLAN
(SCALE 1:100)



FIRST FLOOR PLAN
SCALE 1:100

GENERAL NOTES

GENERAL

- Boundary pegs to be pointed out by owner.
- Contractor must check all levels, dimensions, steps etc. on site, and report all discrepancies to Architectural Design Lab before work commences.
- All materials to be SABS or Agreement Board approved.
- All work to comply with the National Building Regulations (SABS) 0400, the applicable SABS codes & building society regulations.
- Figured dimensions to be taken in preference to scaling.

FLOORS & WATERPROOFING:

- Where underfloor heating (u.f.h) is shown on plan, the affected floors must be cast on min. 50 mm thick polystyrene foam & foam is to be installed around perimeter of room to insulate floor from wall.
- Suspended concrete floors to engineers details.
- Ground floor slab: a concrete slab which shall have a compressive strength of not less than 25 Mpa at 28 days, or be mixed in the proportions by volume of one part cement, four parts sand & five parts coarse aggregate, & the thickness of such slab shall be 80 mm laid perfectly with an acrylic waterproof membrane on well compacted hardcore. Top of slab to be a min. of 150 mm above ground level.
- DPC under walls (except free standing), windowsills & to all vertical changes in floor levels.
- Any material used as a damp-proof course shall conform to the relevant requirements contained in SABS 248, SABS 952 or SABS 928.
- No horizontal damp-proof course shall be installed less than 150 mm above the level of the adjacent finished ground.
- Transverse joints in the damp-proof course shall be overlapped to a minimum distance of 150 mm & at junctions & corners to a distance equal to the thickness of the wall or the leaf; as the case may be.
- Where any part of any wall of a room is so situated that the ground will be in contact therewith it shall be protected by vertical waterproof membrane or by a drained cavity which shall extend below the floor of such room.
- 25 mm thick screeds laid level with finishes as indicated.
- Flashing to all parapets & changes in roof levels.
- Atriums & courtyards to be fitted with at least 1 x 100 dia.uPVC outlet pipe from catchpit fitted with grating & slit trap.
- Planters to be waterproof & drainage installed.

FOUNDATIONS, BRICKWORK & PARTITIONS:

- All foundations to be 25Mpa concrete at least 200 x 600 mm. min., 200 under ground level or to Eng. details.
- Boundary wall foundations must not encroach on boundary & are to be plastered & painted both sides.
- Parapet walls to be at least 300 high & amx 500 mm, with brickforce in every course.
- All screen walls to be at least 1,8 M high above ground level.
- Lintels to be supported min. 150 for opening up to 3,0 M & at least 220 mm for opening up to 4,8 M.
- 3 courses brickforce to built in above floor level & above window level & every third course between, in continuous bands.
- No lething or block bonding will be allowed under any circumstances.

FIRE PREVENTION:

- Any roof surface between garage & habitable areas shall be divided by a wall with a 30 minute fire rating.
- Any door between garage & habitable areas to be a solid timber core door, 40 mm thick.

DRAINAGE, SINGLE STACK SYSTEM:

- NB: No back-venting required!
- Provide a chemical temporary toilet (before inspection of foundation excavations) in an inoffensive position: keep it in a hygienic & odorless state.
- All sewers to be 100 dia. uPVC min. 2,0 M above any opening into building within a 5 M radius. Sub vents to be fitted with an approved 2-way vent-value. All vent, stacks, geyzers, down pipes etc., to be concealed. Stacks in ducts to be accessible for cleaning purposes.
- All bends and junctions in sewer to be fitted with IE's, all RE's under paving to be fitted with marked covers. Protect drain under foundations in accordance with PF24 of SABS 0400.
- All waste fittings to have seal traps & pipes to be fully accessible if under floor, with IE's either end or clamped to wall.
- Any sewer pipe not deeper than 350 mm under ground level (i.e. 46) to be covered with a concrete slab, wide & strong enough to protect the sewer, with min. 100 mm soil between pipe & concrete.
- The radius at the centerline of bend at the floor of discharge stack, shall be not less than 300 mm & other bends 600 mm.
- The vertical distance between the invert of the lowest branch discharge pipe connected to & the invert of the drain at the point of connection of the stack & the drain to be min. 500 mm.
- Where any waste or soil branches are connected to a stack, the centre line of the waste branch shall not intersect the stack within 200 mm below the centre line of the soil branch. All waste branches to connect separately to stack.
- Sewer connection: as shown; with rodding eye or manhole within 1,5 M from connection.
- Antivac: Traps to all fittings

PIPE SIZES: GRADIENT:

	Min.	Max.
50 dia. sink, veg. basin, shower, washing machine, dishwasher, wash trough, bath,	1,25	2,5
50 mm dia. bidet	2,5	5
100 mm dia. to toilets	5	14
50 mm min. combined wastes		
100 mm min.-vent to toilets		

REVISIONS

NO.	DESCRIPTION	DATE	BY
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ARCHITECTURAL DESIGN LAB

ARCHITECTS. SPACE PLANNING. INTERIOR DESIGN.

TEL: 0105101759 CELL: 0796188759

EMAIL: collenk@archdlab.co.za

FAX: 086 622 5614

ADDRESS: Office 3, 4 Main Road, Farramere, Benoni, Johannesburg East, Gauteng

CLIENT
SIBONESIYA ENTERPRISES

PROJECT
PROPOSED HOUSE ON ERF
CRYSTAL PARK EXTENSION 47

TITLE
SITE, GROUND, FIRST FLOOR & ROOF PLANS,
ELEVATIONS AND SECTION

AREA & COVERAGE	SCALE 1:100	DATE 15/08/2024
	DESIGNED BY COLLEN K	DRAWN BY COLLEN K
HOUSE GROUND FLOOR	1108sqm	DRAWING #
TOTAL GF AREA	1108sqm	REVISION
HOUSE FIRST FLOOR	87sqm	
TOTAL AREA	197sqm	
COVERAGE	31%	
FAR	0.57	

AUTHORISED SIGNATURE