



GREYTOWN
ARCHITECTURAL CODE
OCTOBER 2022
Version 01



ARCHITECTURAL PHILOSOPHY

The Architecture of Greytown will be harmonious to the landscape and reflect the values of quintessential farm-style architecture. For those who value space and freedom, the philosophy of Greytown is one of simplicity, respect of the landscape, nature and views, and courtyard living.



AN ARCHITECTURE OF FARM-STYLE LIVING

The homestead will be designed following simple, fragmented building forms, and importantly, the spaces between the buildings. This creates a courtyard architecture, with the outside spaces being as important as the inside.

The landscape will be an extension of the farm design, with some order and discipline, close to the buildings and softening as it connects to the natural surrounds of the site boundary.

The old farm feeling of belonging in the landscape and not being imposed onto it, is important in the overall reading of each site.

Buildings will take on the lie of the land, blending into the topography.



DESIGN CODE

The architectural design code for Greytown is embodied in 5 fundamentals, as stipulated below:

1: PLANNING AND ENCLOSURE

2: ROOFS

3: SUSTAINABILITY AND SERVICES

4: MATERIALS

5: LANDSCAPING (Separate document)

The intention of the code is to help create beautiful and considered homes with a common thread of farm-style and contemporary living with careful thought taken of the unique climatic conditions of the area.

The buildings must be fragmented with broken down elements linked via covered / enclosed walkways and pergolas, reducing the overall impact of the structure when viewed from the outside and common areas of the estate.

This fragmentation will also engage with the natural environment and include internalised courtyards and gardens.

The buildings will have a layered depth with the inclusion of extensive patio areas, timber screens and shutters. This is also done to address climatic factors of the area.



PLANNING AND ENCLOSURE

The houses have been placed to best enjoy the specific aspect of the property with the stipulation of building envelopes per site

The ethos is one of farm style living, whether contemporary or more traditional will create a diverse yet coherent feel to the estate-as-a-whole.

The original farmhouses were simple, often a rectangular house of a few rooms. They were then added to, as the family expanded, or circumstances changed. This created the more sprawling, fragmented architecture of the farmhouse that we envision.

The majority of the farmhouses were single storey. The houses generally must remain single storey in nature, with the occasional use of the roof space as loft - to a maximum of 30%. Wall plate height still to remain 4.5m in these instances. The loft must be 30% of roofed area to a maximum of 50sqm whichever is lessor.

The houses must have a primary or core space, with secondary spaces. They must be fragmented in overall form, separating out spaces, to avoid large overbearing 0single structures. The primary spaces may not exceed 6.6m in width in total dimension.

Secondary spaces must be in proportion to the primary spaces. The maximum width of the secondary spaces shall be 5m.

Variation to the width of the primary space will be allowed on the basis of architectural merit and will have to apply for relaxation through the committee.

Garages may be separate from the house. Carports may be included but also integrated into the overall design and not temporary in feel and look.

The building envelope of each site is unique and has been stipulated in the building footprint attached to the signed sales agreement. The intention of the pre-determined envelope is to protect each sites privacy, views, and natural movement of animals, as well as maximising the value of your site.

Each site must be surrounded by dense landscaping on at least 3 sides of the site. This landscaping can be done within the planting zones with the building lines.

Fencing can occur on the fencing line stipulated on each site envelope drawing. The basic regulation is that the fences must be along the stipulated fence line as per the building footprint. Pool fencing must comply with

SANS regulations and Local Authority. Walls may be used along the building line as a fence line, but only as features and not dominate or surround the house or building envelope. Building lines are stipulated on the building footprints attached to the signed sales agreement.



PLANNING AND ENCLOSURE

Houses must not dominate the front road visual and adhere to the building line setbacks.

Entrance gates and future entrance walls are allowed out of the stipulated building lines. Gates to be approved on application with the idea that they will not dominate or deter from the overall feel of the estate. They must also be in keeping with the ethos of the estate.

A minimum of 150sqm overall built area is required.

Siting of the Buildings must be carefully considered within the building envelope, to maximise views, give sun and prevailing wind protection.

Swimming pools and other constructed water elements are restricted to within the Building Envelope

Minimal intervention of the land in terms of cut and fill will be allowed, with a maximum of 3m retaining walls allowed at the 'hidden' area of the site. And not more than 1.5m platform height will be allowed at the 'garden' section of the site.

This will create a terraced effect on the steeper slopes.

Driven by site orientation, slope conditions, neighbours, roads, and programme, the plan form may include liners pavilions, internal courtyards, fragmented courtyard arrangements, and multiple buildings forming the courtyards.



PLANNING AND ENCLOSURE SUSTAINABILITY AND SERVICES

The roof ethos is one of simplicity, with no, to minimal use of hips and junctions. The idea of separate forms linked via flat roofs is promoted.

No exposed geysers will be allowed on the roof, and solar panels must be flush with the roof plane, with no silver trims.

Skylights must be flush with the roof plane. Dormer windows will be accepted per application on architectural merit.

Roof angles from 35deg to 45deg may be used. Double pitched roofs as well as Mono-pitched roofs are acceptable. Mono pitched roofs may have roof angles between 10deg and 15deg. Flat roofs are acceptable, complimentary to the overall design, up to 50% of the house size. They must be covered with sod, stone chip and other mediums accepted by the panel.

All components servicing water, including stormwater, sewerage and water supply reticulation, geysers and solar heaters, are to be built into the structure, or fully concealed in an integrated fashion.

Water harvesting is encouraged. This can be subterranean tanks or exposed corrugated tanks to compliment the design. Alternatively, if located on the ground plane, it must be integrated into the design of the home and match the colours of the home.

All electrical services are to be built into the structure or fully concealed in an integrated fashion. Generators require audio attenuation. Solar panels can be floor mounted but must be concealed from any neighbouring views. Generators will be allowed but will need to

adhere to the generator protocols - which will stipulate a maximum sound and decibel requirement. External lighting demands careful consideration to ensure sensitive integration into the building design and is required to be kept at a minimum to alleviate extensive light pollution.



SITE LAYOUT PHILOSOPHY

All Photovoltaic cell arrays, satellite dishes, radio aerials, or other electrical components are permitted to be attached to the building, but must not be visible to neighbouring sites, or must be fully screened and/or integrated. Photovoltaic cells can be mounted on the roof, in the plain of the roof, with black or charcoal fixtures to match the roof colour.

Washing lines, laundry driers, gas bottles, need to be fully screened or integrated into the utility yards and not visible from the road boundary, or conservancy areas.

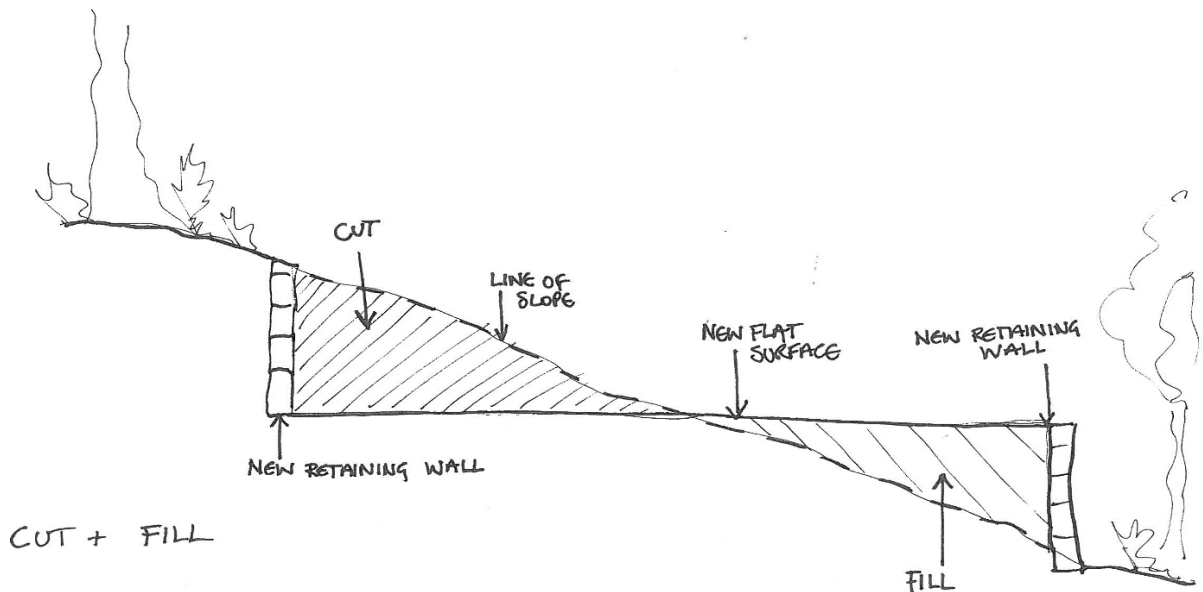
Careful consideration of building materials must be taken, with emphasis on sustainably sourced items.

Boats, trailers, Caravans, Bikes and other accessories must be hidden from the road frontage, and parked/stored within the building envelope.

Refuse recycling will be encouraged. Separate bins and colour codes bags will be used for different waste products. Bins to be kept out of sight of road frontage and neighbours. A small bin area may be built to complement the house design. External built elements such as stables, greenhouses etc, must be in keeping with the overall feel of the home and not be an eyesore to neighbours. Details of these to be submitted to the Panel for approval.

The concept of a minimal palette of materials through the estate will enhance the overall coherence of the estate as a whole.

CUT AND FILL ON SLOPED AREAS





ROOFS	
	ZincAlume Roof sheeting S-Profile - Sea Spray, Slate, Thunderstorm
	ZincAlume Roof Sheeting Cliplock 700 - Sea Spray, Slate, Thunderstorm
	Aluminium - profiles as above - Sea Spray, Slate, Thunderstorm
	Concrete Roof tile - flat - Grey. Spec to be confirmed
	Concrete Flat roof with stone finish or non-shiny waterproofing finish to be approved
	Roof Gardens
WALLS	
	Clay or Concrete commons
	Clay or concrete maxi's
	No elaborate plaster techniques.
	Bag-wash, painted brickwork and Ruled plaster is acceptable
	Face brick allowed up to 50% of design - Corobrick Firestone, Mampurra, grey palette to be accepted by panel
	Off-shutter concrete
	Timber cladding
	Light-weight steel frame homes allowed.
	Shiplap boarding allowed
	Steel and glass frame accepted



WINDOWS & DOORS

Powder coated Aluminium - grey palette/white/brown/black

Timber - Natural/painted grey palette/white

No PVC allowed

Glazing to be clear Standard, Low E or Double glazing.

Tint allowed on non-visible windows to later spec.

Cottage pane accepted on application and merit.

SHUTTERS & SCREENS

Timber Shutters and screens acceptable.

Aluminium Shutters and screens acceptable

Shutters must be movable and not mere decoration.

Storm Blinds, shear weave or similar approved accepted to specific colours tbc

Frameless glass accepted

BALUSTRADES

Natural timber

Aluminium

S/S cabling

Metal

Frameless Glass Balustrades allowed set into concrete - no visible fixtures.

No Classical or overly decorated balustrading accepted. Balustrade detail to be included into submission drawings to the DRC



DRIVEWAY	
	Concrete cobbles - All sizes
	Concrete strips - Jeep track
	Gravel and stonechip
	Approved clay pavers
	Install a 110mm sleeve beneath the driveway in your boundary line. This is to prevent the driveway being dug up should there be a fault in the main services lines
	Only 1 driveway entrance per site allowed accept on special application and merit. The DRC shall determine this and allow more than one entrance into a site.
STONEMWORK	
	Only Natural stone cladding
	Quartz, Sandstone, Slate allowed in any format.
	No fake, composite, or plastered feature 'stonework' allowed
RETAINING WALLS	
	Gabion stone retaining walls allowed
	Masonry and concrete core wall allowed
	Concrete retaining wall allowed
	Concrete block retaining walls allowed, in non- visible areas - and to be approved by Panel Concrete blocks to be specified and not built more than 2.5m in height.
	Timber log retaining walls allowed on signoff by an engineer.



FENCING	
	Pool fencing to comply with council regulations.
	Ferro-Art Flat top fencing allowed

	Post and rail fencing with square mesh fence allowed as perimeter fencing to a maximum height of 1.5m. This may not be outside of the building lines.
	Picket post and rail fencing allowed.
	1.2m Wall (not retaining) along the fence line
DECKING	
	Hardwood timbers
	H4 treated pine, plained.
	Salligna or other timber approved by DRC on application.
	No gum pole or rough timber to be used.

No Creosote or boron treated wood to be visible.



	Composite timbers will be allowed on application due to colour and manufactures specifications.
PATIOS AND VERANDAHS	
	Minimum 10% of house sqm to be patio/veranda space, but this can be enclosed. If enclosed on all sides, this space will be counted as part of the FAR.
	Verandah columns to be square/rectangular in shape. They may be timber, steel, concrete or brickwork. Stylistic columns are discouraged
	No 'Broekie lace' is permitted.
STREET SIGNAGE	
	As per signage solution tbc
	Signage to be placed at driveway entrance visible but not to block drivers views of cars and pedestrians.

The building envelope is pre-determined for each site and are indicated on the relevant detailed site information analysis sheets. Below is the basic town planning regulations and estate specific protocols.

	SITES 1 -
Height	Dwellings to be single storey with a maximum height to the wall plate of 4.5m from Natural Ground Level (NGL). Top of roof to not exceed 7.5m at any point. Loft space can be included, but within the same controls as above, and to not exceed 30% of roofed area.
FAR	0.35 - excl. garages, storerooms, basements, open verandas



Coverage	30%
Side Building Line	5m
Rear Building Line	5m
Rear Build-to line	10m
Front (street) Building Line	7.5m
Earthwork Platforms	Restricted in accordance with platform controls.
Driveway	Access over the building line to not exceed 3.5m. Only 1 entrance per site allowed Parking for 1 visitor's car must be provided on each site, not within the building lines.
Sewer and Septic tank	Please refer to page 18 Engineer's specifications



ARCHITECTURAL PANEL CONDITIONS AND FEES

Accreditation

All Professional Architects will be required to abide by the requirements of the Architectural Review Committee and Homeowners' Association rules governing Architects and Contractors and sign an Accreditation Agreement.

The Developer and the Homeowners' Association reserve the right to add or remove Architects from the approved panel. Procedures for Plan Approval for all Architects

- Architectural Review Committee meetings will be held. Architects must be present at these meetings to discuss their plans and architectural principles
- An appointment must be scheduled with the Architectural Review Committee at least one week prior to the scheduled Architectural Review Committee meeting.

STAGE 1: Sketch Plan Submission is to include but not limited to:

- Cop of Title Deeds
- Sketch drawings, and concept in 3D format
- Preliminary site plan, roof plan and floor plans, in 2 D layout
- Driveway layout
- Any encroachments indicated
- Prelim Earthworks - banks and retaining walls.
- Professional Survey included showing neighbours site or platform levels, and edge of house.
- Architectural cross sections of site showing relation with neighbours site levels and house elevations.
- FAR and Coverage indicated

- Sufficient information to see concept as well as compliance to regulations.

- Height restriction lines

STAGE 2: Final Plan Submission is to include:

- Full council level drawings
- Door / Window Layouts and specification

The total cost for the above plan submissions, which covers a maximum of 3 presentations, is as per the Submission Fee structure, which can be subject to change periodically, which can be obtained from Greytown Offices. Payment will be required to be paid prior to the scheduled meeting.



ENGINEER'S SPECIFICATIONS FOR THE SEPTIC TANK AND SEWER SYSTEM

Due to the cohesive clay soils at a depth greater than 600mm across the proposed estate, it is recommended that all stormwater be attenuated (with the design of attenuation chambers) and disposed of into natural water courses. Soak-a-ways for stormwater disposal off each site is not recommended.

For wastewater and sewer disposal, the use of septic tank & soak away pit systems across the sites will function effectively, provided that the soak away pits are placed no deeper than 600mm into the in-situ soils and parallel to the contours. Furthermore, a minimum 1400 mm of suitable imported fill is to be placed on top of the areas where the septic tank and soak-a-way pit systems are to be installed in order to provide sufficient cover and wetted perimeter to the system.

Due to the sloping nature of all the sites, cut and fill platforms will probably be required to produce the house platform levels. It is suggested that the fill platforms be constructed using sandy soils and that the septic tank and soak away pits be placed within the sand in-situ material under the areas where fill material is going to be placed. In this manner the depth of material above the soak away will be increased, to the recommended minimum depth of 1400mm, thereby enhancing the wetted perimeter and percolation capacity of the system.

It is recommended to construct the septic tanks, soak away pits and evapotranspiration areas wider and longer than the specifications described in the eThekweni guideline for the design and approval of on site (sub surface) disposal of domestic sewage

The actual length and width of the soak-a-way pits will be dependent on each site's configuration, the specifications described in the eThekweni guidelines as well as SABS 0400-1990, PP10.4 – Table 1 which takes into consideration the number of bedrooms in each house.

Preferred service providers would be Calcamite or Jojotanks.

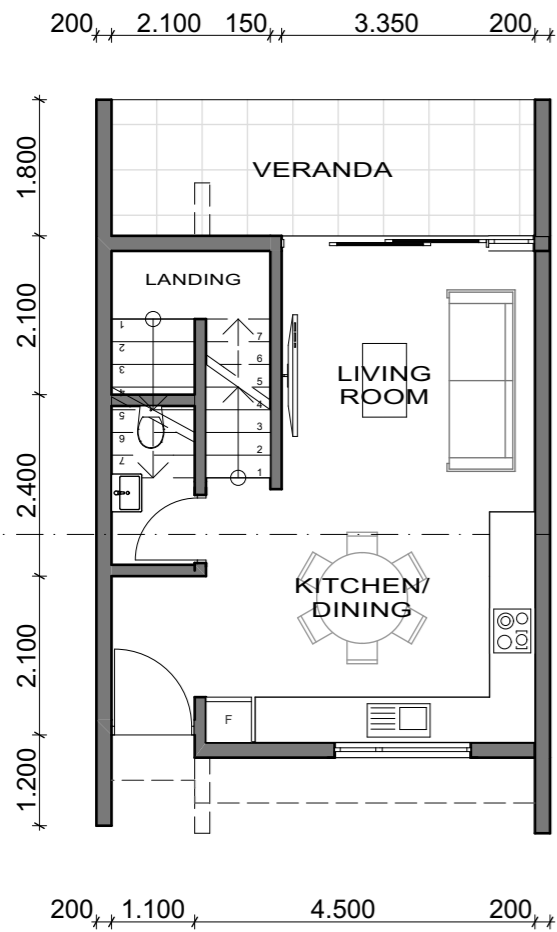
ARCHITECTURAL PHILOSOPHY

The overall look and feel for Engome Greytown must be in accordance with the Engome Greytown code with the following allowances

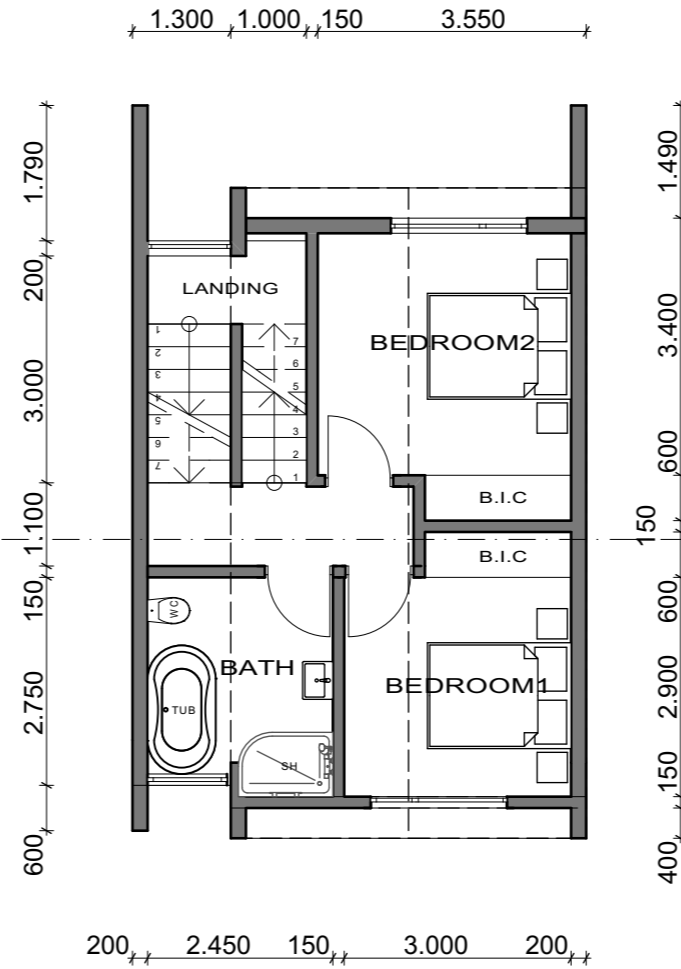
	Sites
Height	<p>Dwellings to be single story with a maximum height of 4,5m to wall plate from Natural Ground level.(NGL)</p> <p>Top of the roof to not exceed 7,5m at any point (not finished ground level).</p> <p>Loft Space to be included, but within the same controls as above, and not to exceed 30% of roofed area or a maximum of 50sqm whichever is lessor</p> <p>On certain steep sites, 1:5 slope, identified in red on the layout plan attached, homeowners may apply for relaxation to double story. If basement is viewed as one of these stories, the basement must be 100% below finished ground level viewed externally.</p> <p>With the intention that the height restriction will remain and that homes will look single story from the road. Specific importance is that the view from the back properties are not disrupted.</p> <p>Relaxation to allow double story is solely granted by the panel</p>
FAR	50% excl garages, storerooms, basements ,open verandas.
Coverage	50%
Side Building line	1,5m
Rear Building line	1,5m non-development zone – on 12m non development sites
Front (street) Building line	3m
Earthwork Platforms	Restricted in accordance with platform controls
Driveway	<p>Only one entrance per site</p> <p>Parking for 1 visitor car must be provided on each site</p>



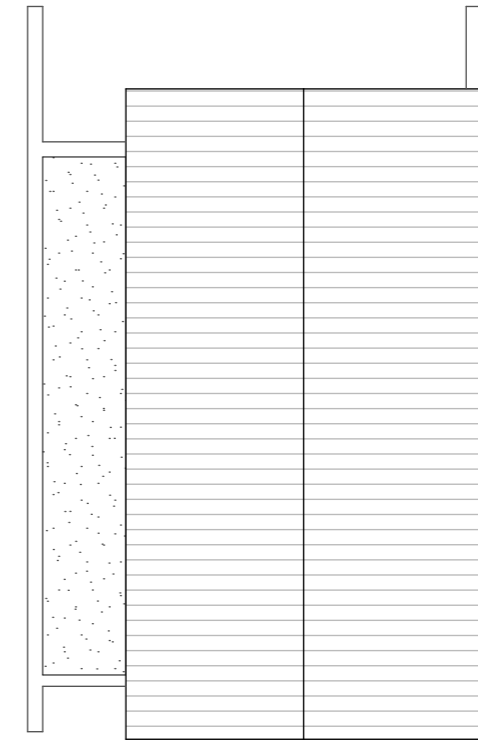
ARCHITECTURAL DRAWINGS



GROUND FLOOR PLAN
Scale 1:100



FIRST FLOOR PLAN
Scale 1:100



ROOF PLAN
Scale 1:100

GROUND FLOOR AREA	38.31m ²
FIRST FLOOR AREA	45.30m ²
VERANDA	10m ²
PARKING BAY	29.33m ²



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ENGOME DEVELOPMENT

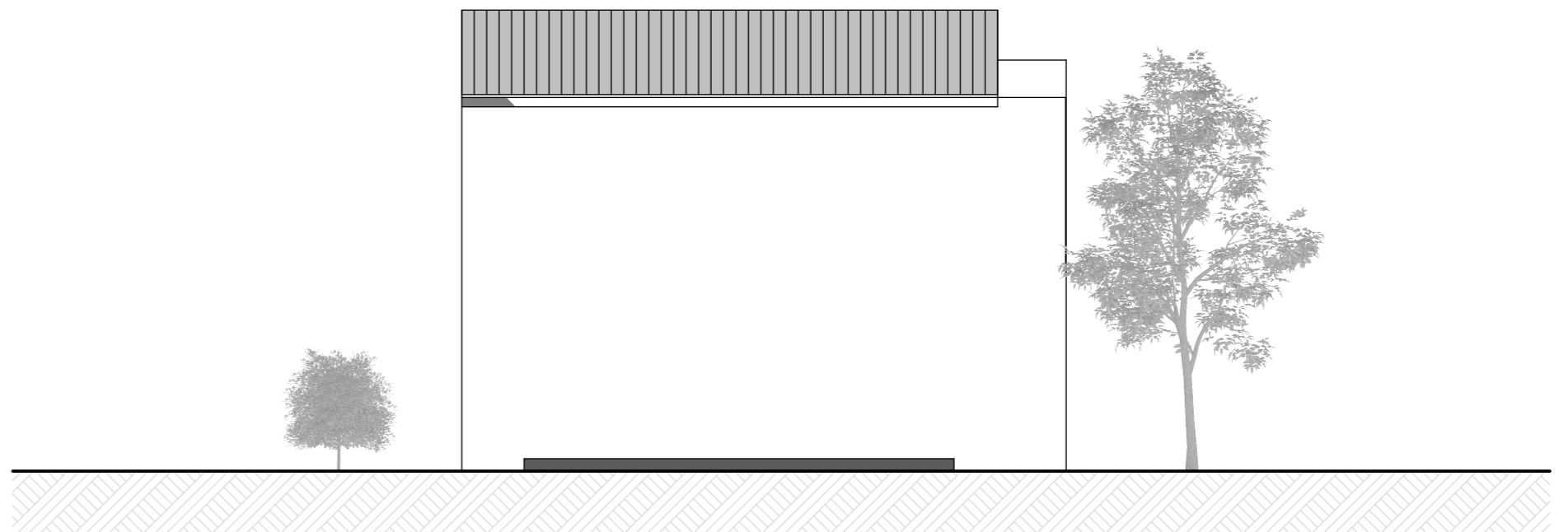
TERRACE

client:

ENGOME DEVELOPMENT
REMAINDER OF THE FARM
BURRUPS No.
17757



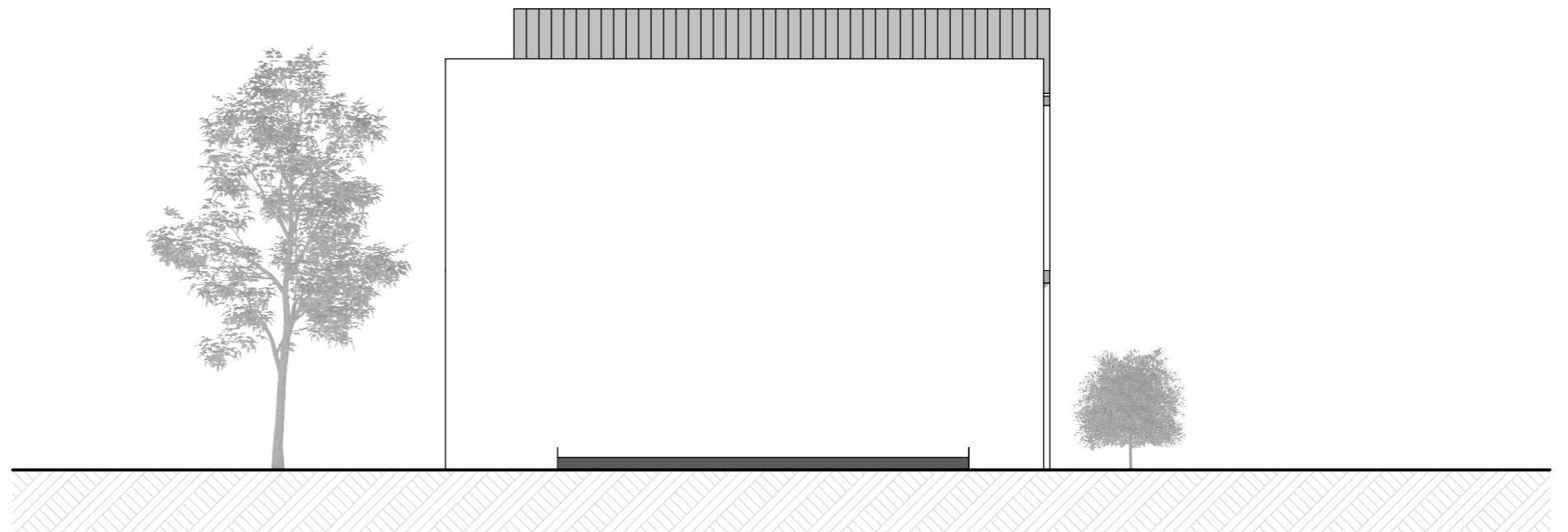
FRONT ELEVATION
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SIDE ELEVATION
Scale 1:100



BACK ELEVATION
Scale 1:100



SIDE ELEVATION
Scale 1:100

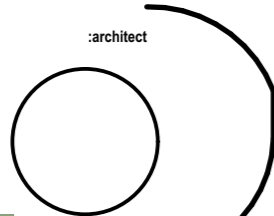
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065 900 1868 / 071 750 6787
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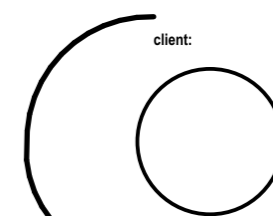
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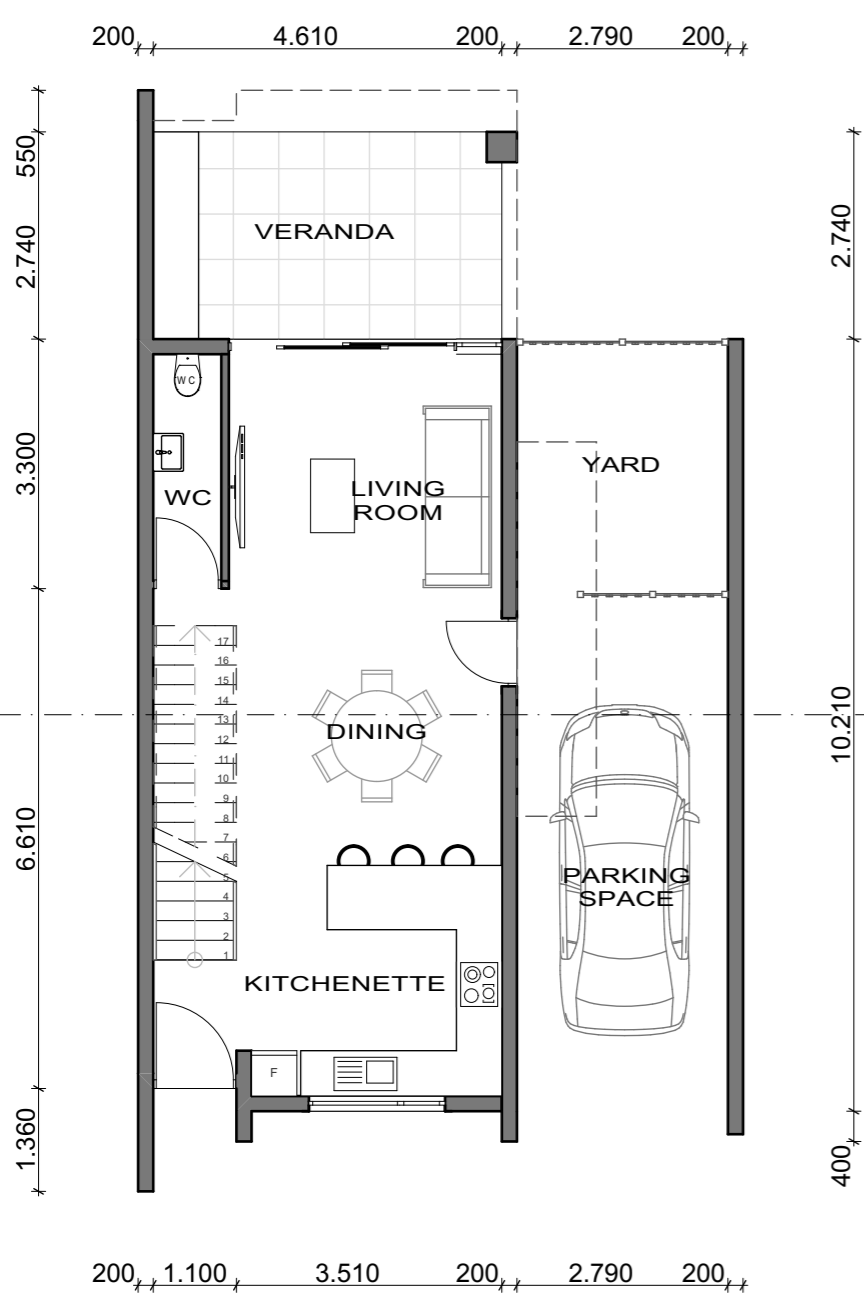
ENGOME DEVELOPMENT

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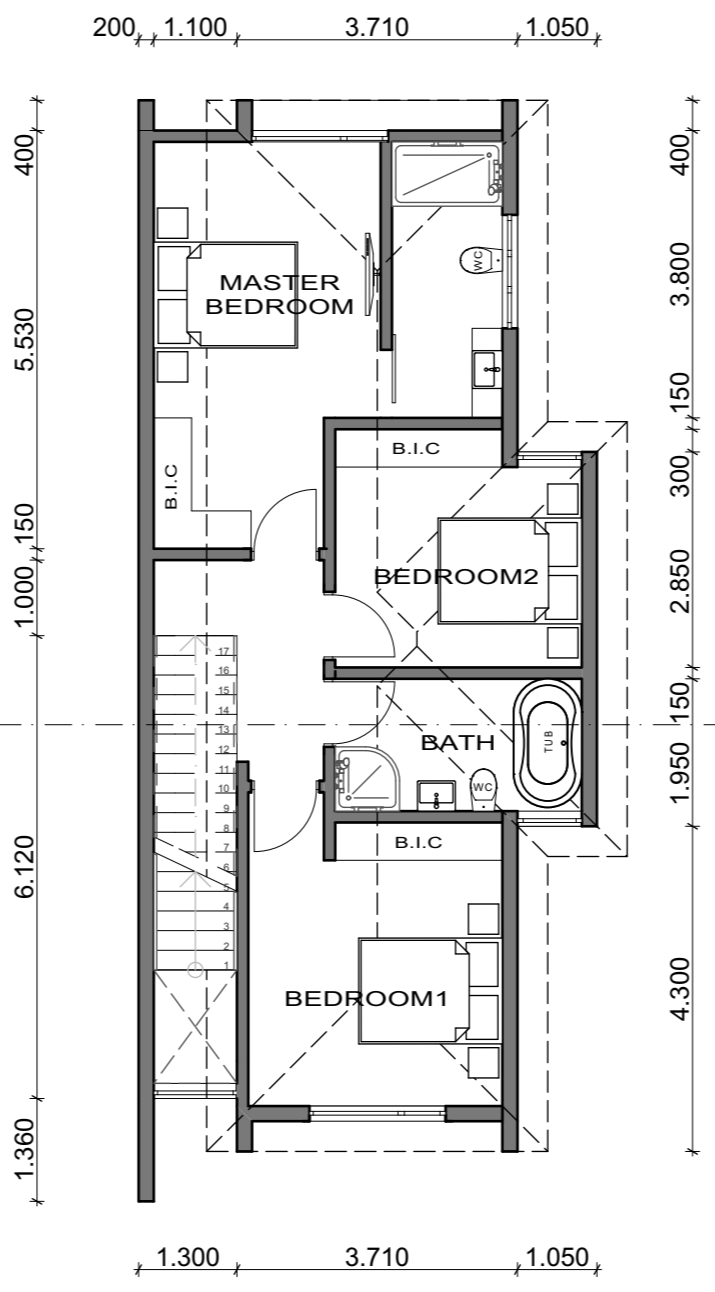
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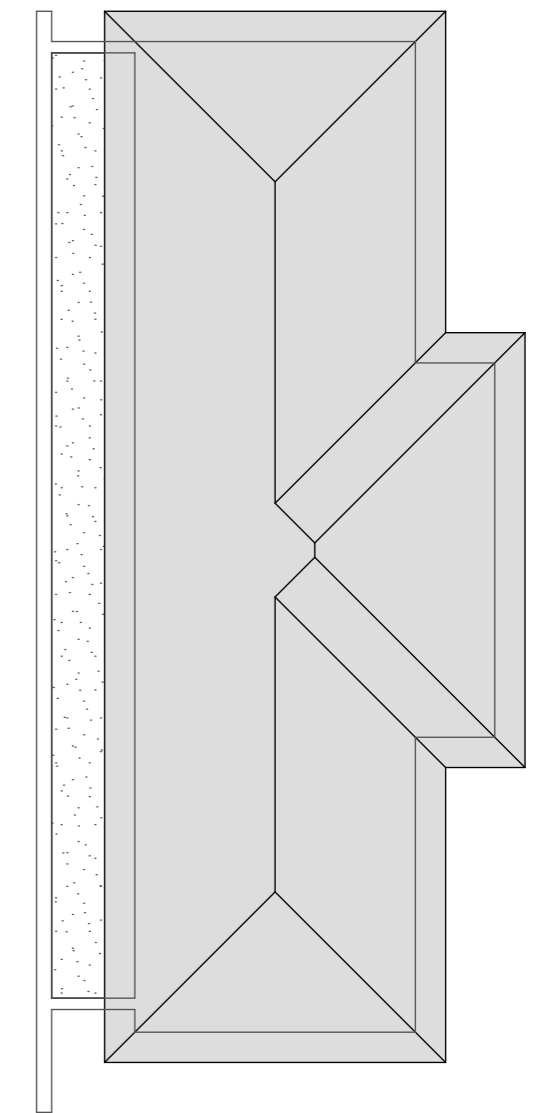
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GROUND FLOOR PLAN
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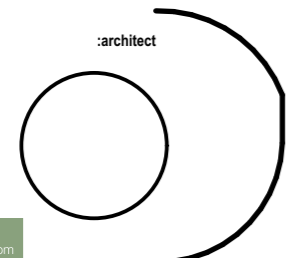


FIRST FLOOR PLAN
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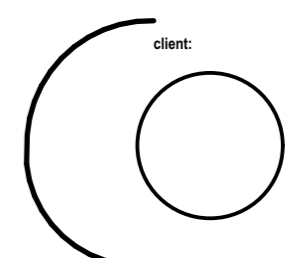
ROOF PLAN
Scale 1:100

GROUND FLOOR AREA	50.76m ²
FIRST FLOOR AREA	70.44m ²
VERANDA	12.63m ²
YARD & CARPORT	29.33m ²



ENGOME DEVELOPMENT

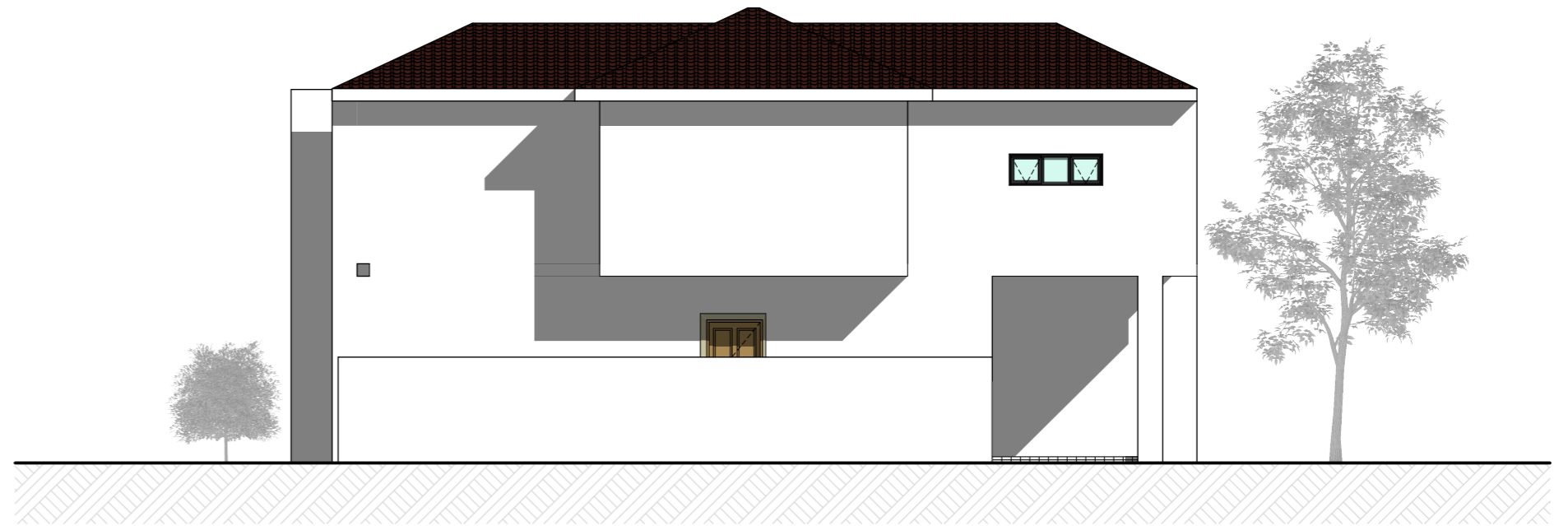
TOWNHOUSES



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BURRUPS No.
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FRONT ELEVATION
Scale 1:100



SIDE ELEVATION
Scale 1:100



BACK ELEVATION
Scale 1:100



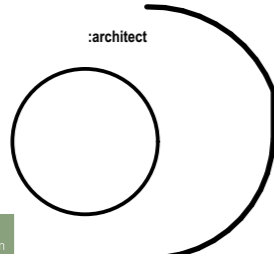
SIDE ELEVATION
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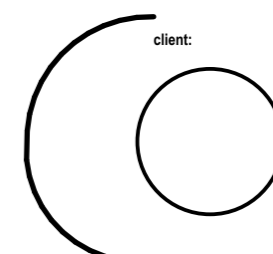
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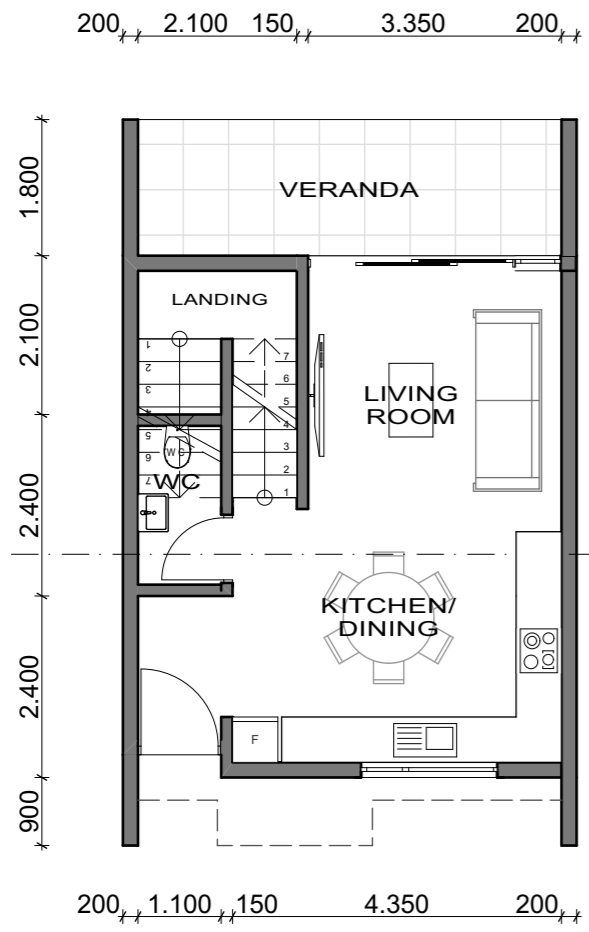
ENGOME DEVELOPMENT

— TOWNHOUSES —

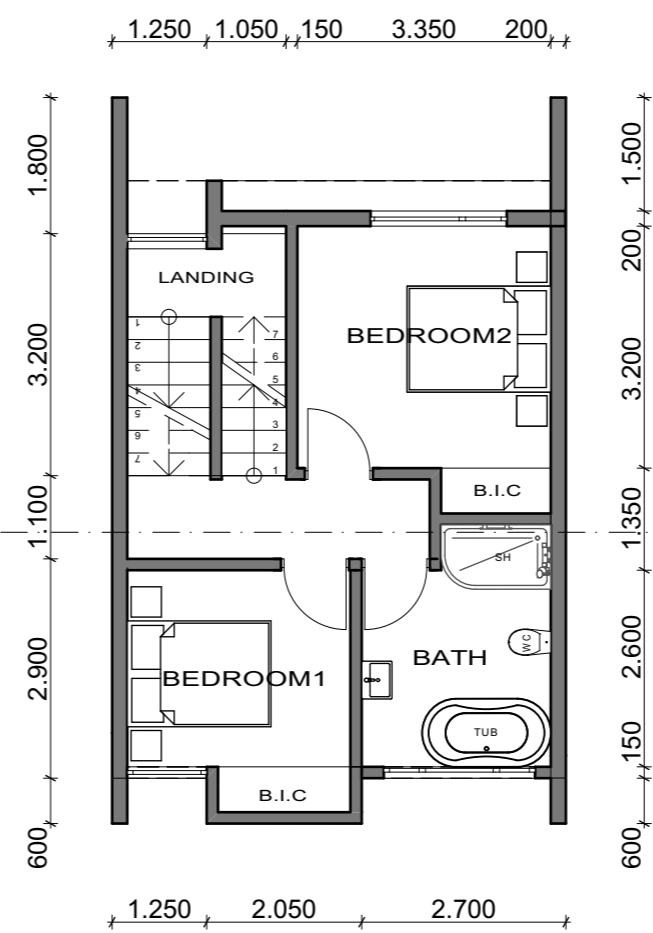
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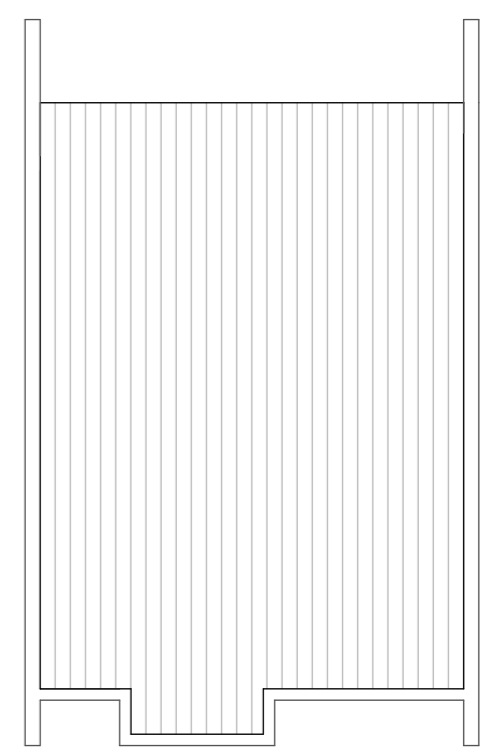
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GROUND FLOOR PLAN
Scale 1:100

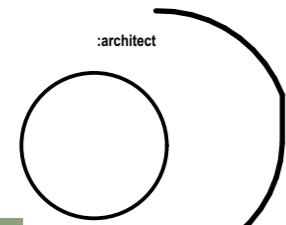


FIRST FLOOR PLAN
Scale 1:100

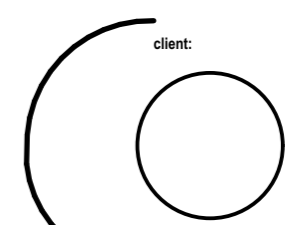


ROOF PLAN
Scale 1:100

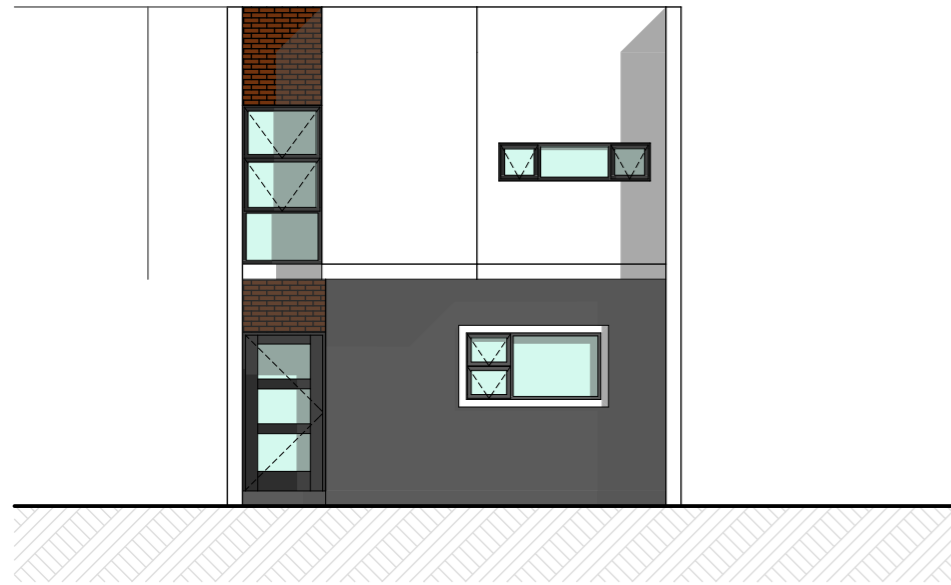
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FIRST FLOOR AREA	45.86m ²
VERANDA	10m ²
PARKING BAY	16.5m ²



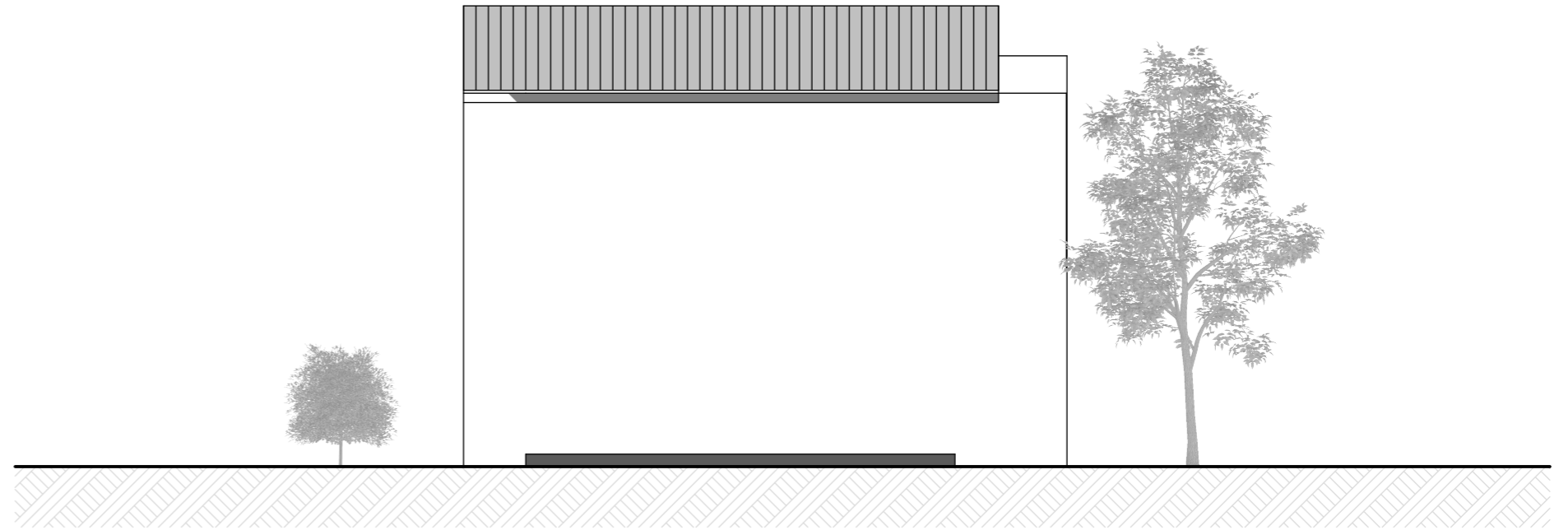
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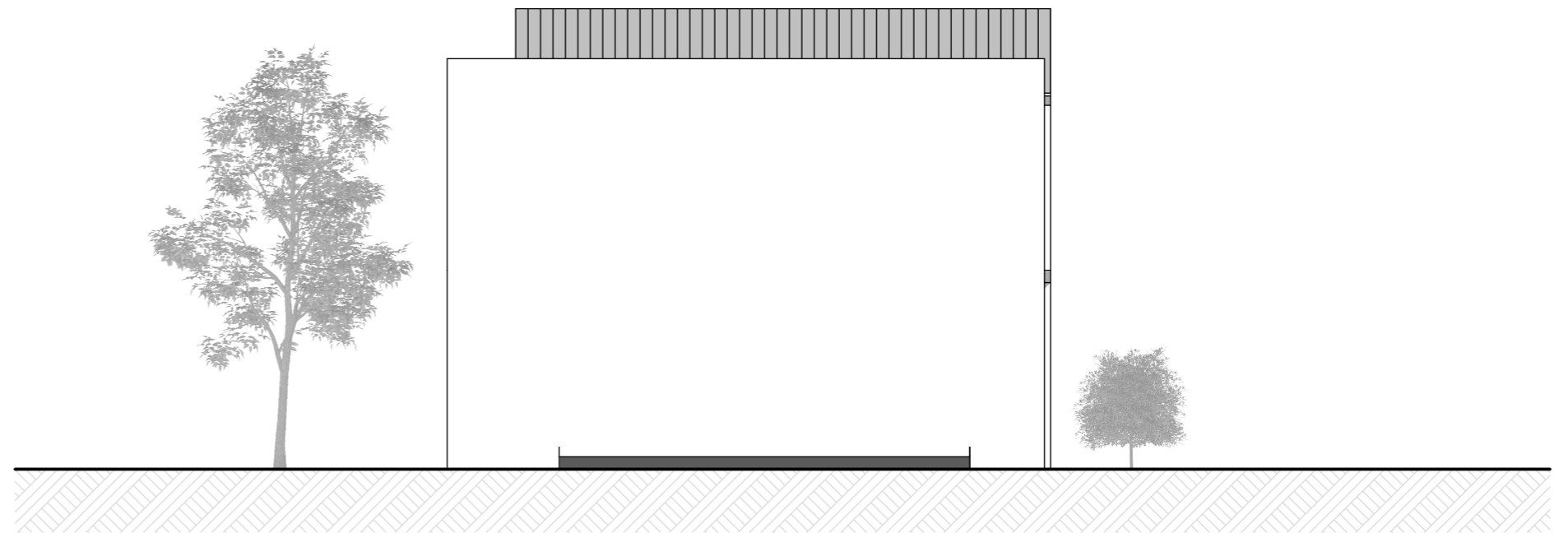
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SIDE ELEVATION
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BACK ELEVATION
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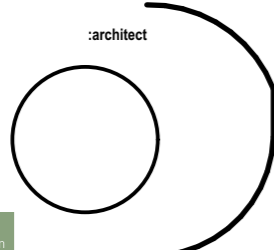


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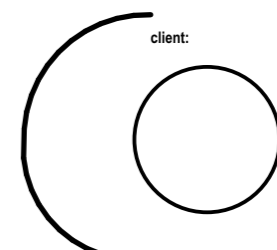
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ENGOME DEVELOPMENT

TERRACE

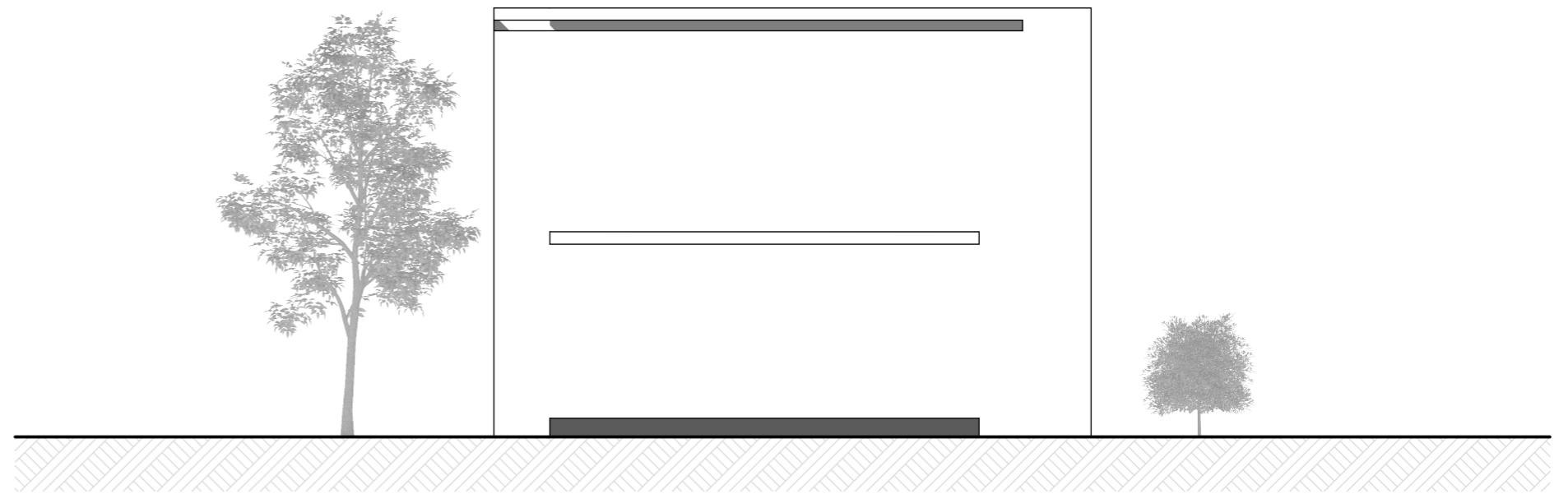
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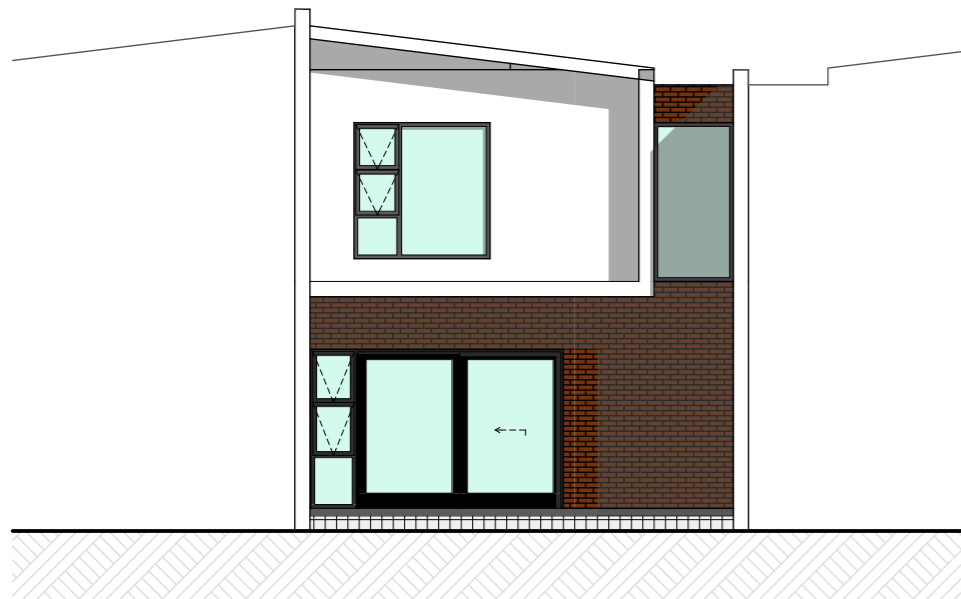
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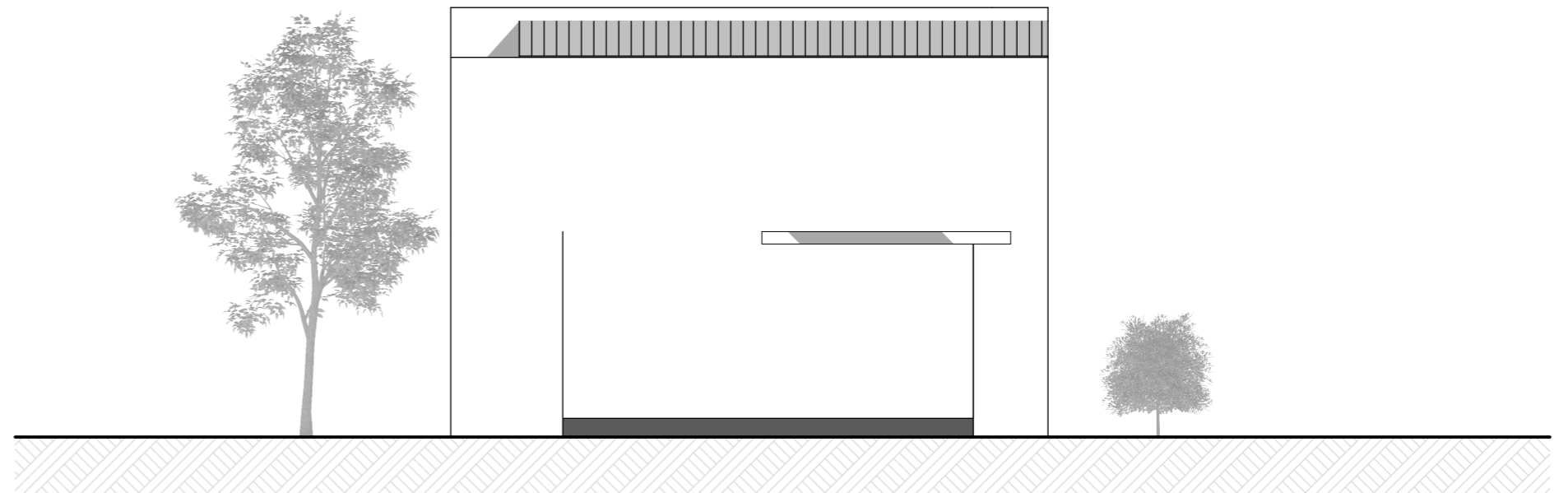
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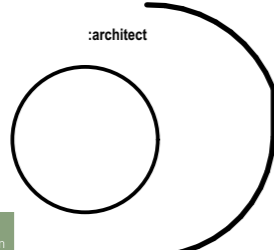


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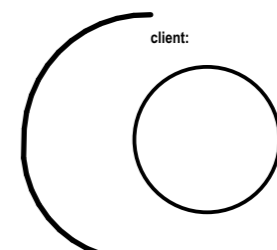
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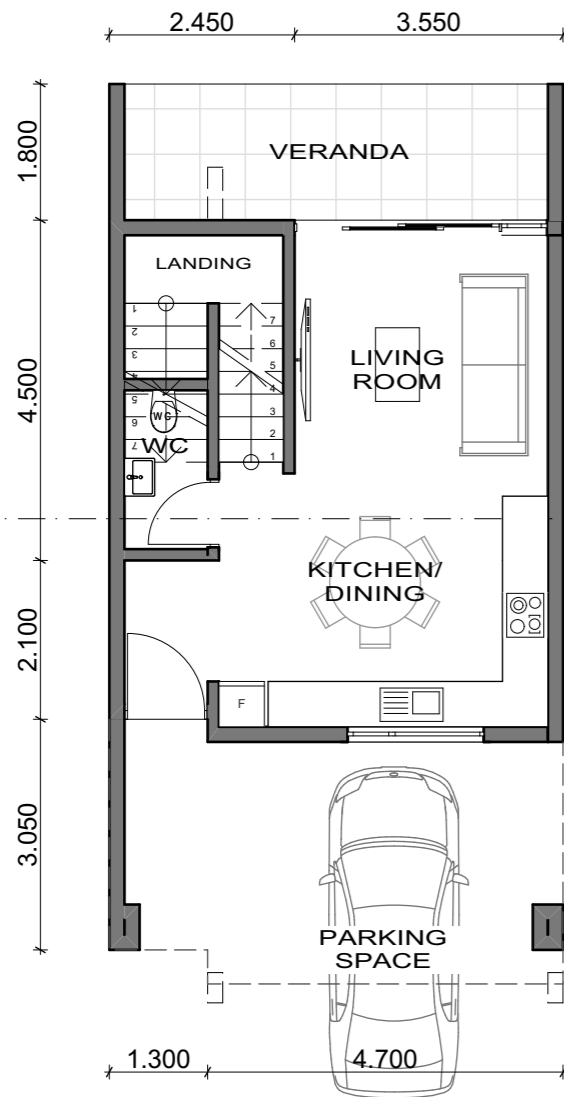
ENGOME DEVELOPMENT

TERRACE

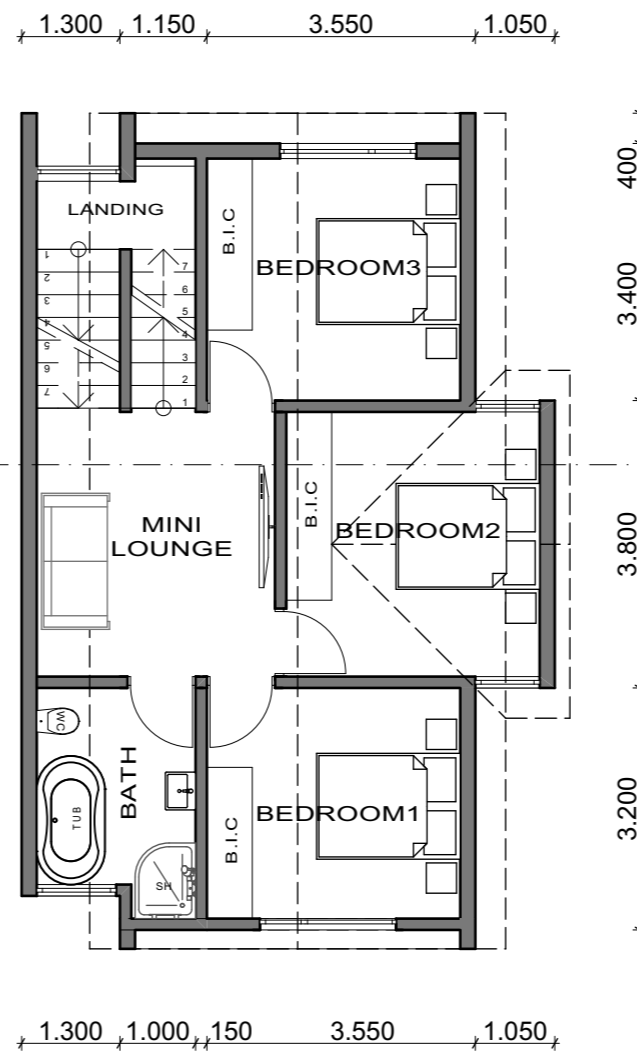
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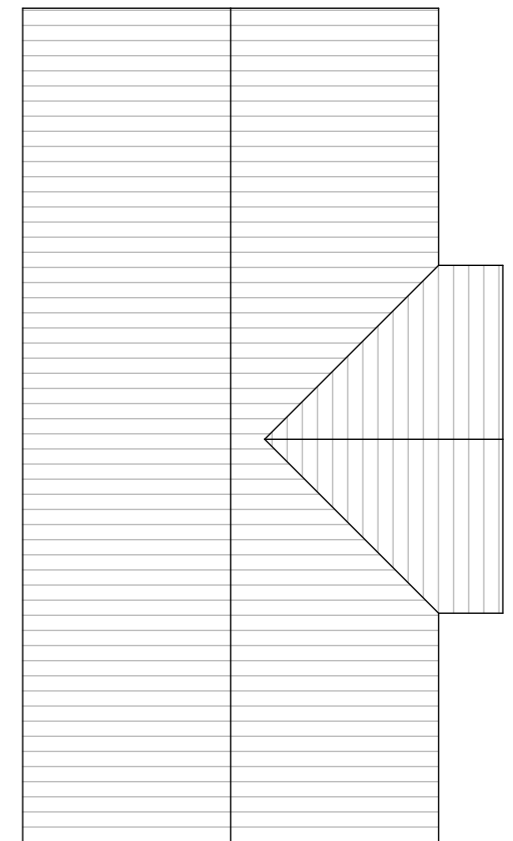
ENGOME DEVELOPMENT
REMAINDER OF THE FARM
BURRUPS No.
17757



GROUND FLOOR PLAN
Scale 1:100



FIRST FLOOR PLAN
Scale 1:100



ROOF PLAN
Scale 1:100

GROUND FLOOR AREA	41m ²
FIRST FLOOR AREA	65.41m ²
VERANDA	10m ²
CARPORT	



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ENGOME DEVELOPMENT

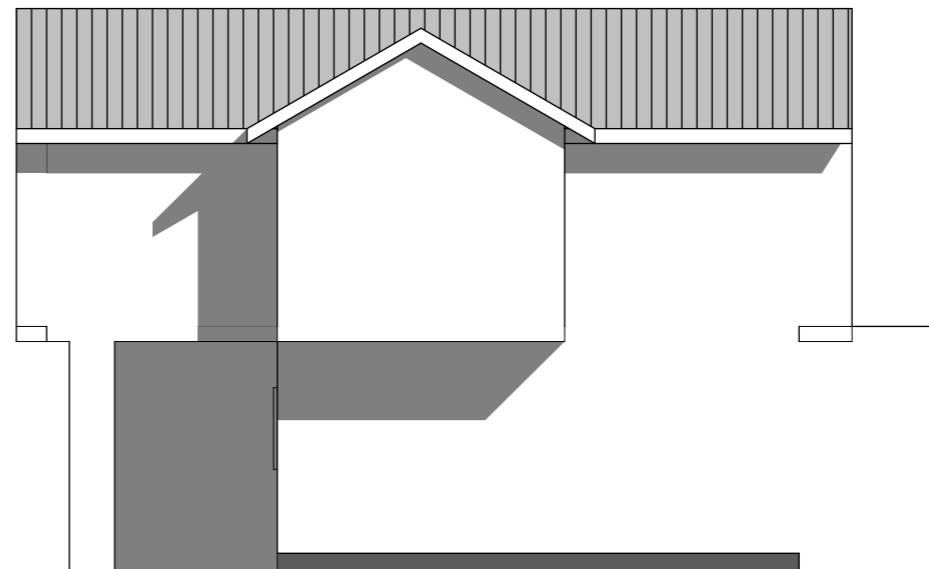
TOWNHOUSES

client:

ENGOME DEVELOPMENT
REMAINDER OF THE FARM
BURRUPS No.
17757



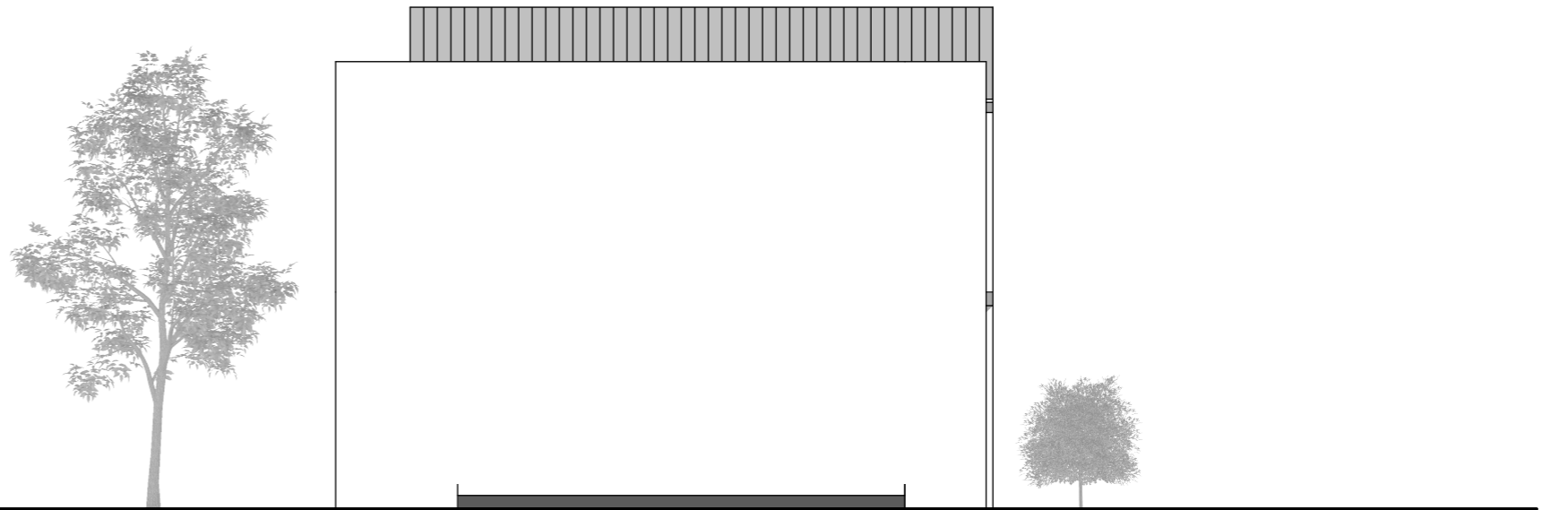
FRONT ELEVATION
Scale 1:100



SIDE ELEVATION
Scale 1:100



BACK ELEVATION
Scale 1:100

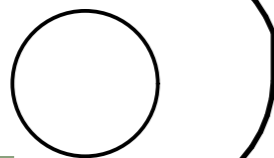


SIDE ELEVATION
Scale 1:100

GROUND FLOOR AREA	41m ²
FIRST FLOOR AREA	65.41m ²
VERANDA	10m ²
CARPORT	



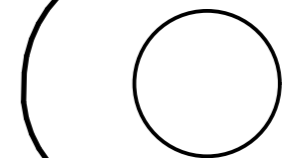
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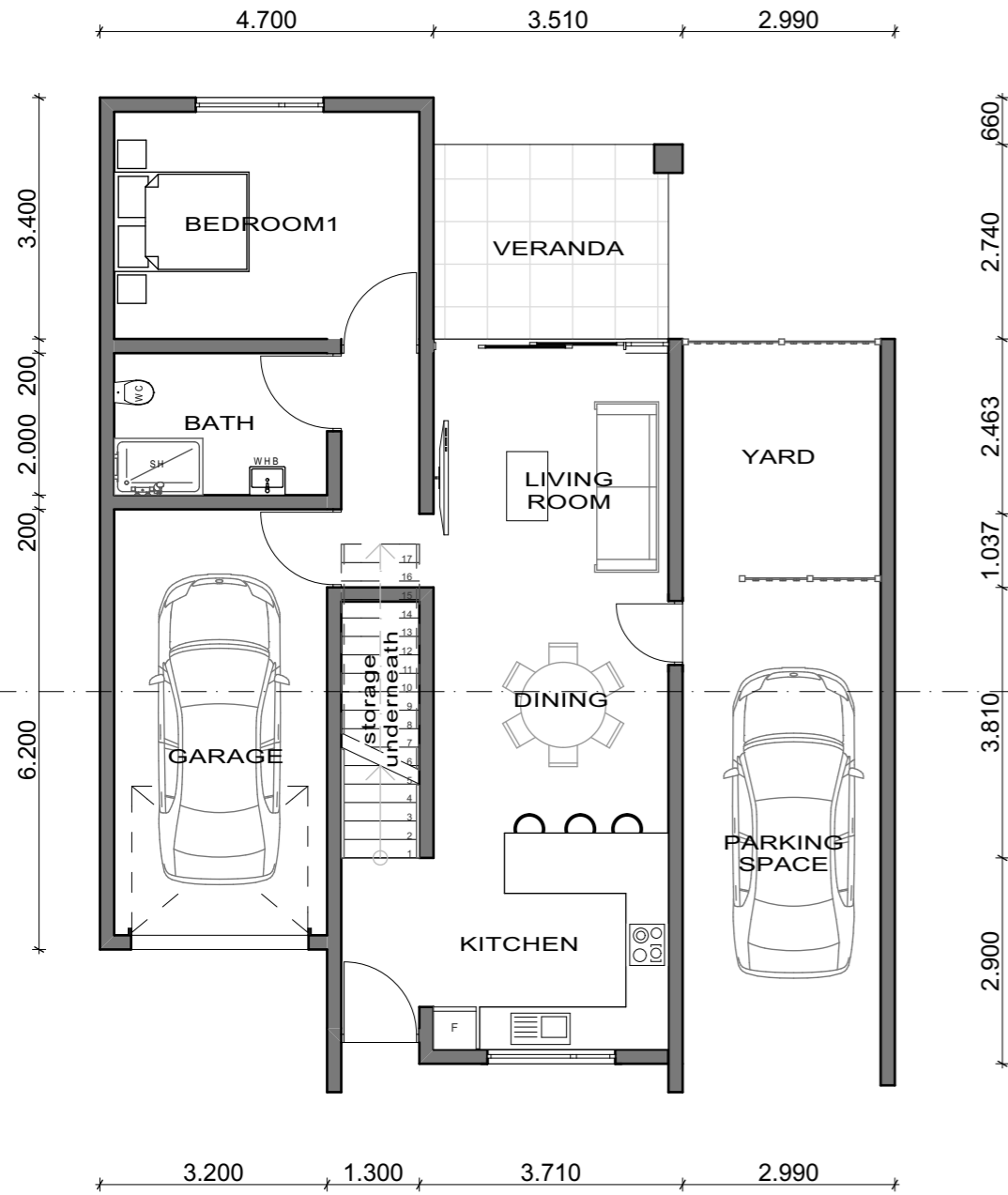
ENGOME DEVELOPMENT

TOWNHOUSES

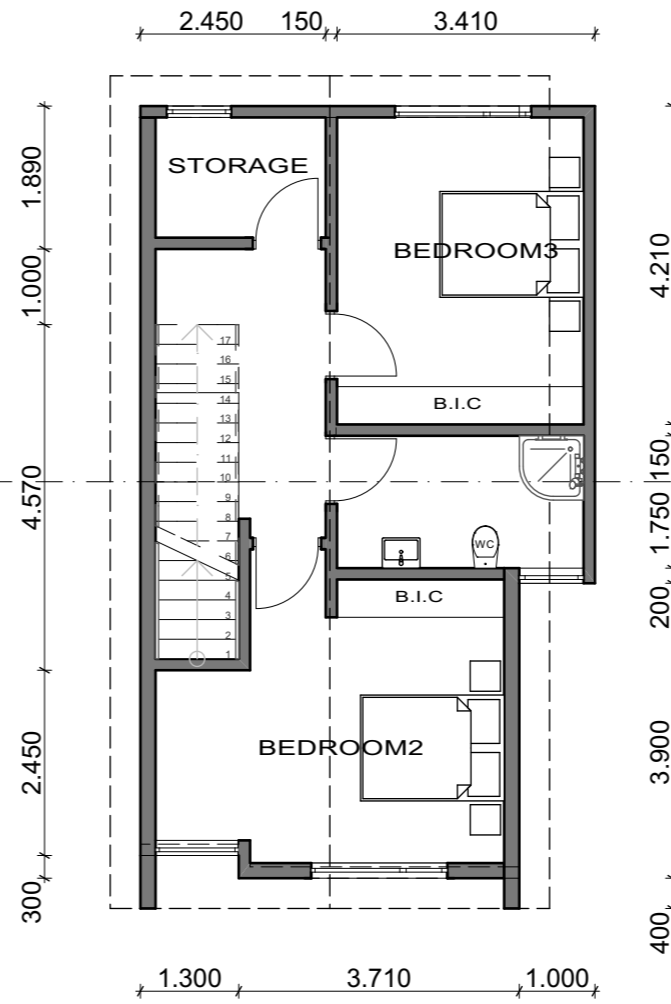
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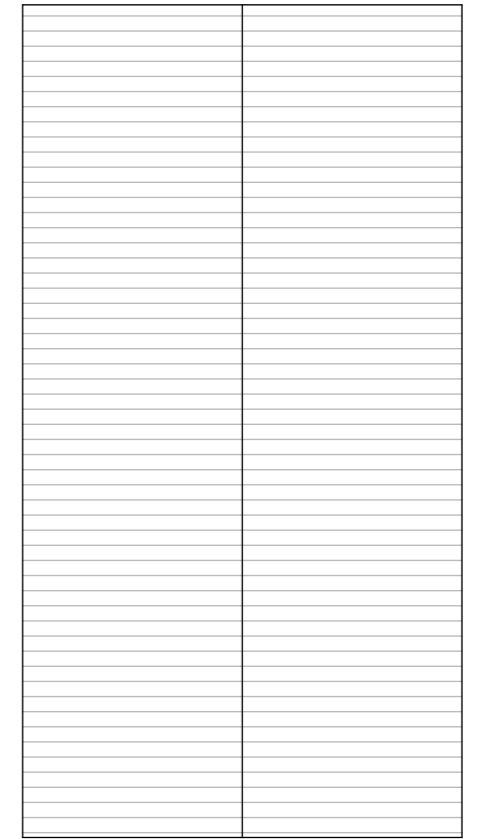
ENGOME DEVELOPMENT
REMAINDER OF THE FARM
BURRUPS No.
17757



GROUND FLOOR PLAN
Scale 1:100



FIRST FLOOR PLAN
Scale 1:100



ROOF PLAN
Scale 1:100

GROUND FLOOR AREA	94.26m ²
FIRST FLOOR AREA	57m ²
VERANDA	9m ²
CARPORT	



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:architect

ENGOME DEVELOPMENT

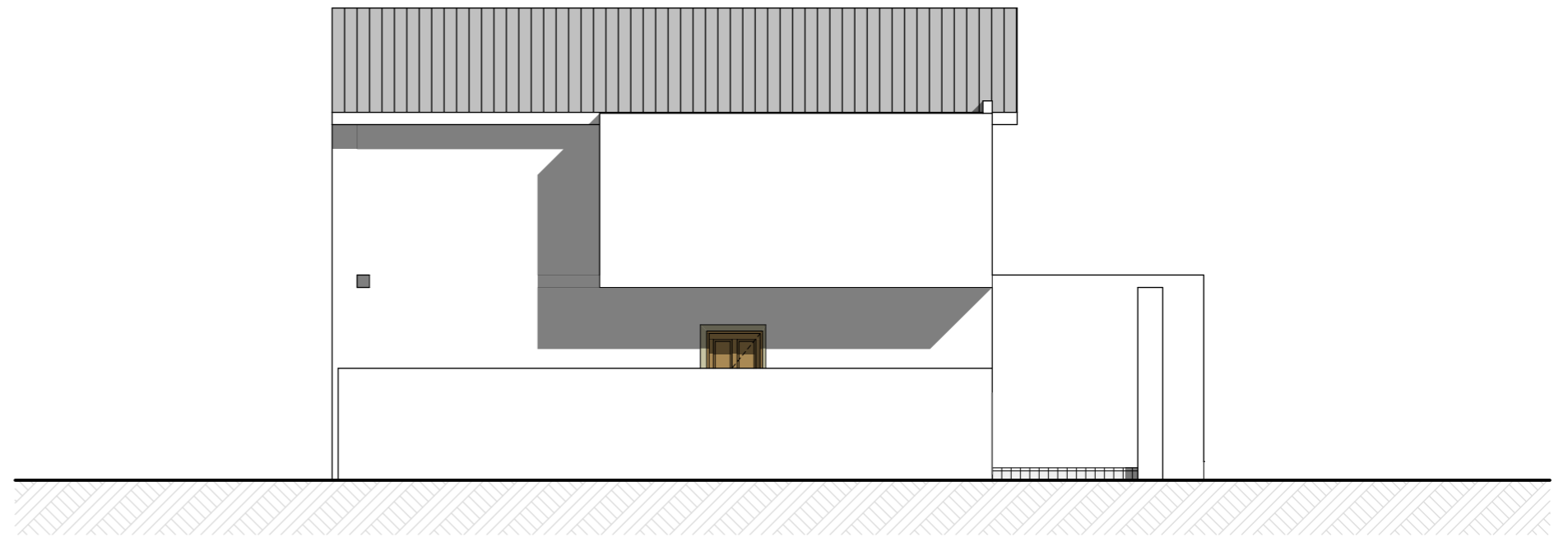
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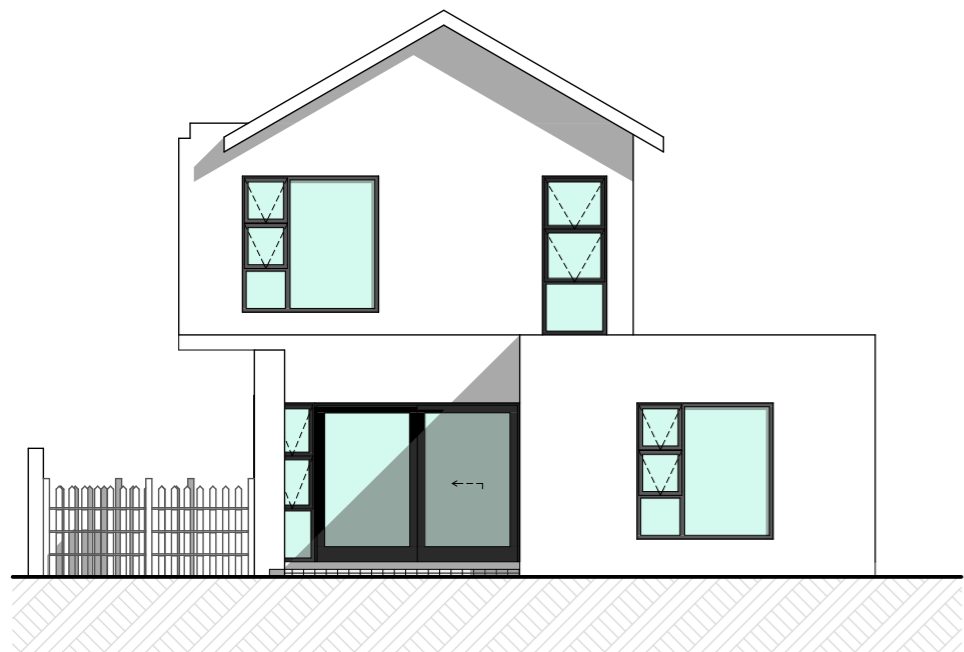
ENGOME DEVELOPMENT
REMAINDER OF THE FARM
BURRUPS No.
17757



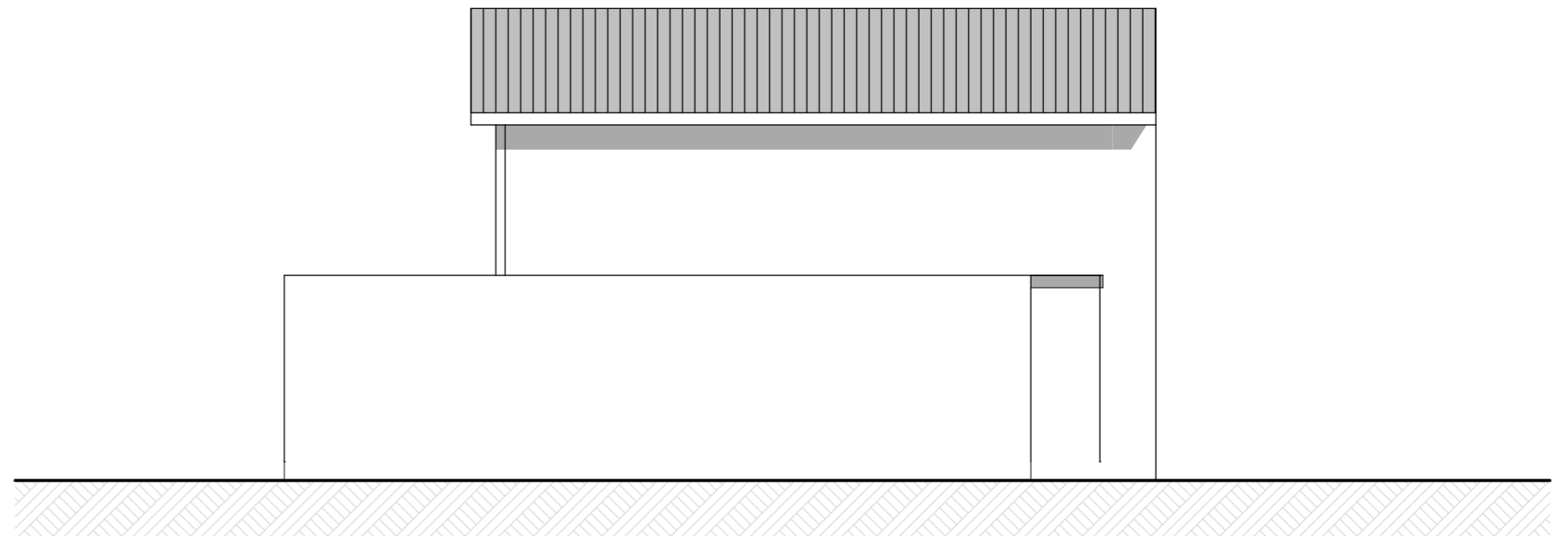
FRONT ELEVATION
Scale 1:100



SIDE ELEVATION
Scale 1:100

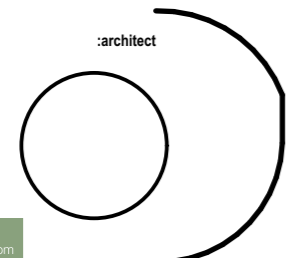


BACK ELEVATION
Scale 1:100



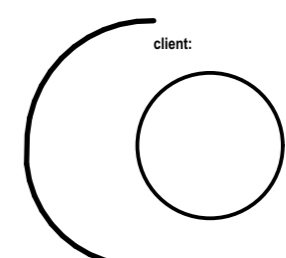
SIDE ELEVATION
Scale 1:100

GROUND FLOOR AREA	94.26m ²
FIRST FLOOR AREA	57m ²
VERANDA	9m ²
CARPORT	



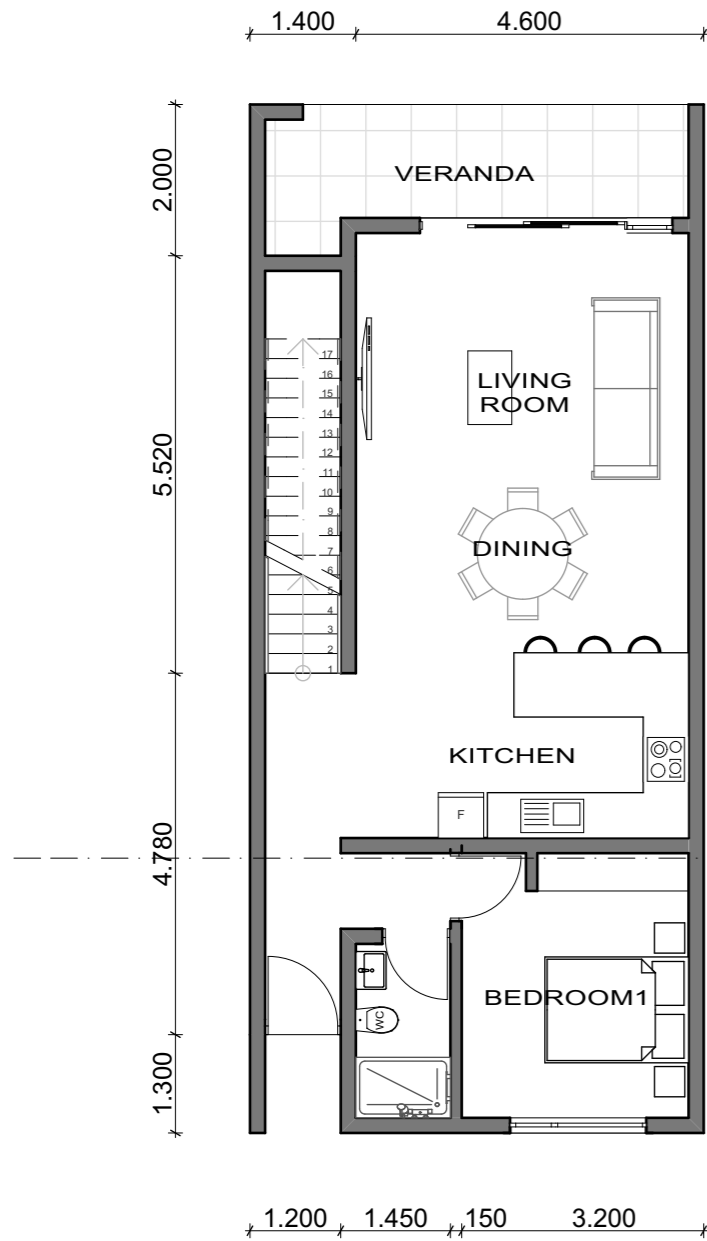
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— TOWNHOUSES —

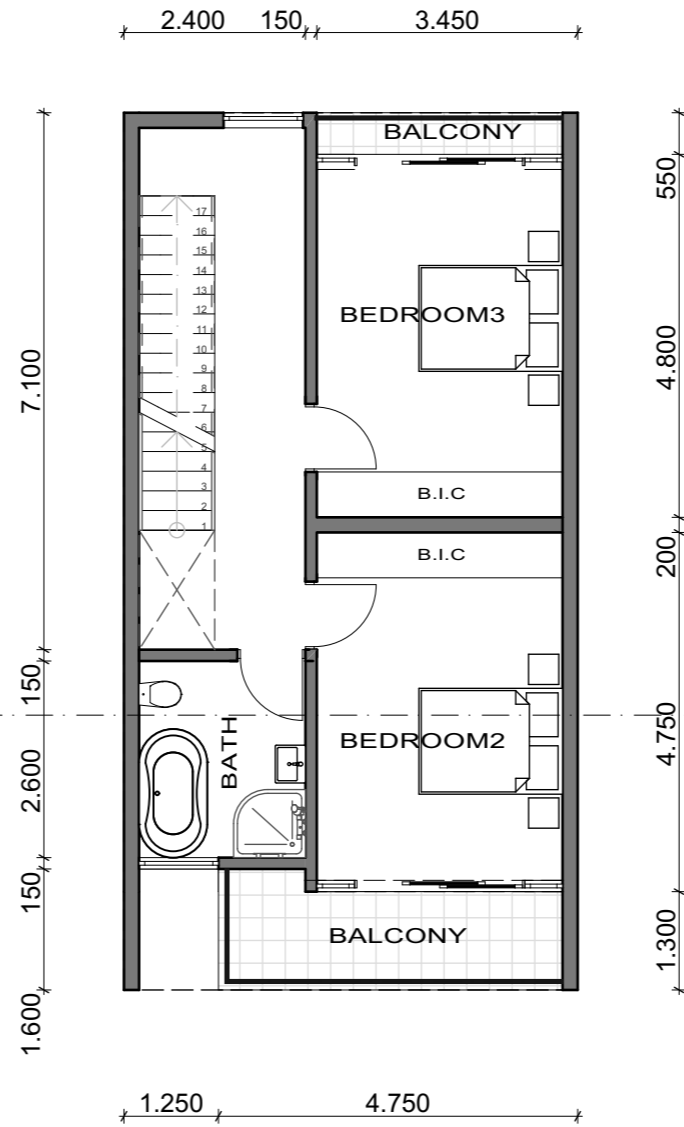


ENGOME DEVELOPMENT
REMAINDER OF THE FARM
BURRUPS No.
17757

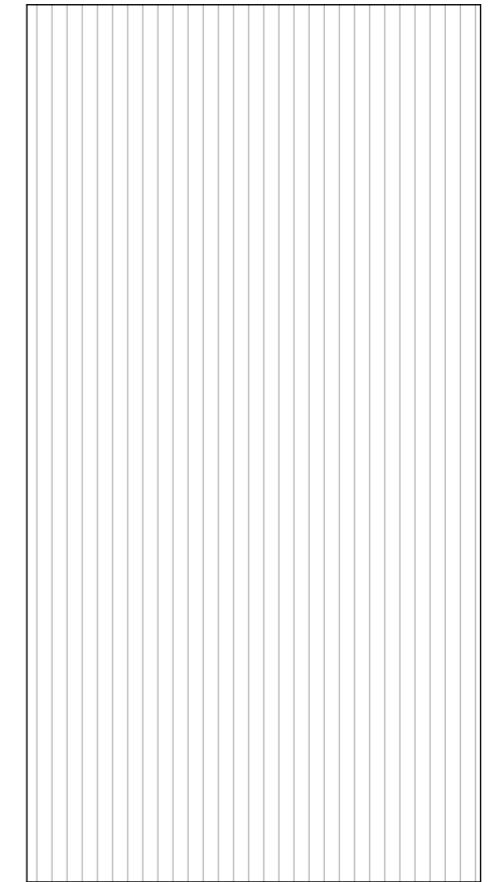
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GROUND FLOOR PLAN
Scale 1:100



FIRST FLOOR PLAN
Scale 1:100

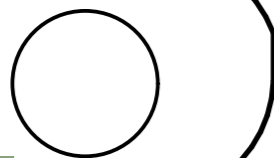


ROOF PLAN
Scale 1:100

GROUND FLOOR AREA	70m ²
FIRST FLOOR AREA	59m ²
VERANDA & BALCONIES	17m ²
PARKING BAY	



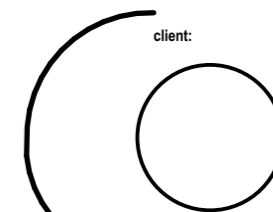
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ENGOME DEVELOPMENT

TERRACE

client:



ENGOME DEVELOPMENT
REMAINDER OF THE FARM
BURRUPS No.
17757



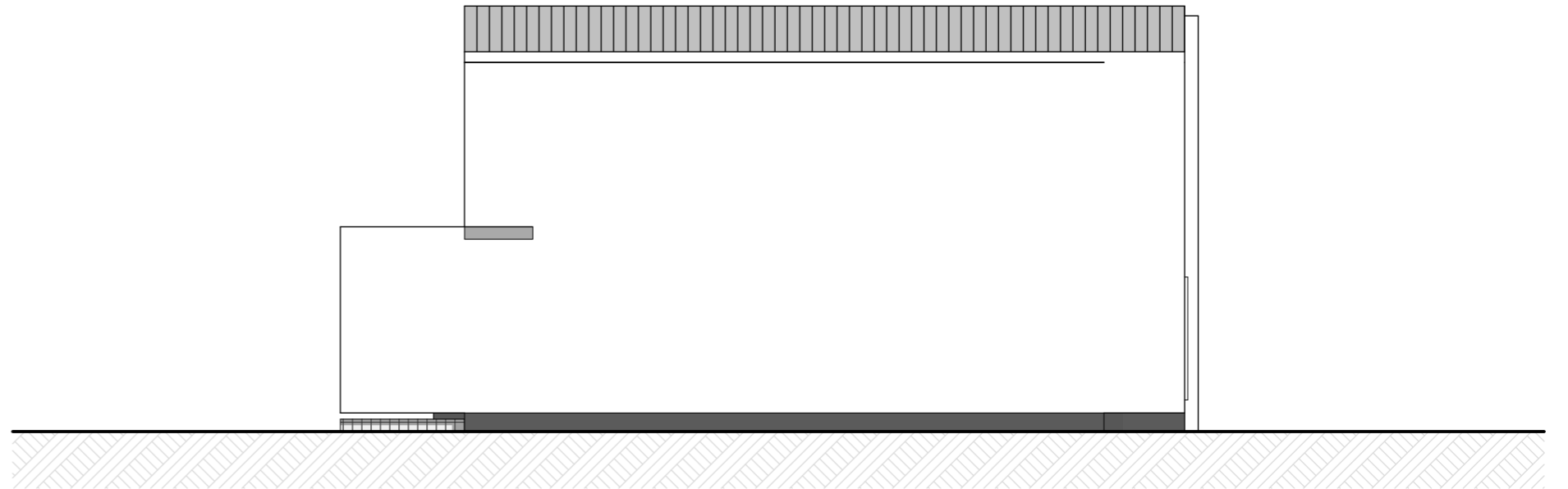
FRONT ELEVATION
Scale 1:100



SIDE ELEVATION
Scale 1:100



BACK ELEVATION
Scale 1:100



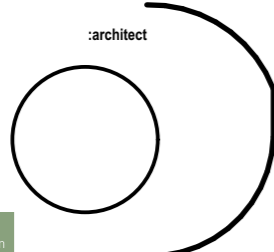
SIDE ELEVATION
Scale 1:100

GROUND FLOOR AREA	70m ²
FIRST FLOOR AREA	59m ²
VERANDA & BALCONIES	17m ²
PARKING BAY	



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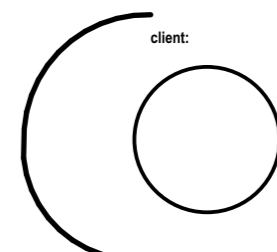
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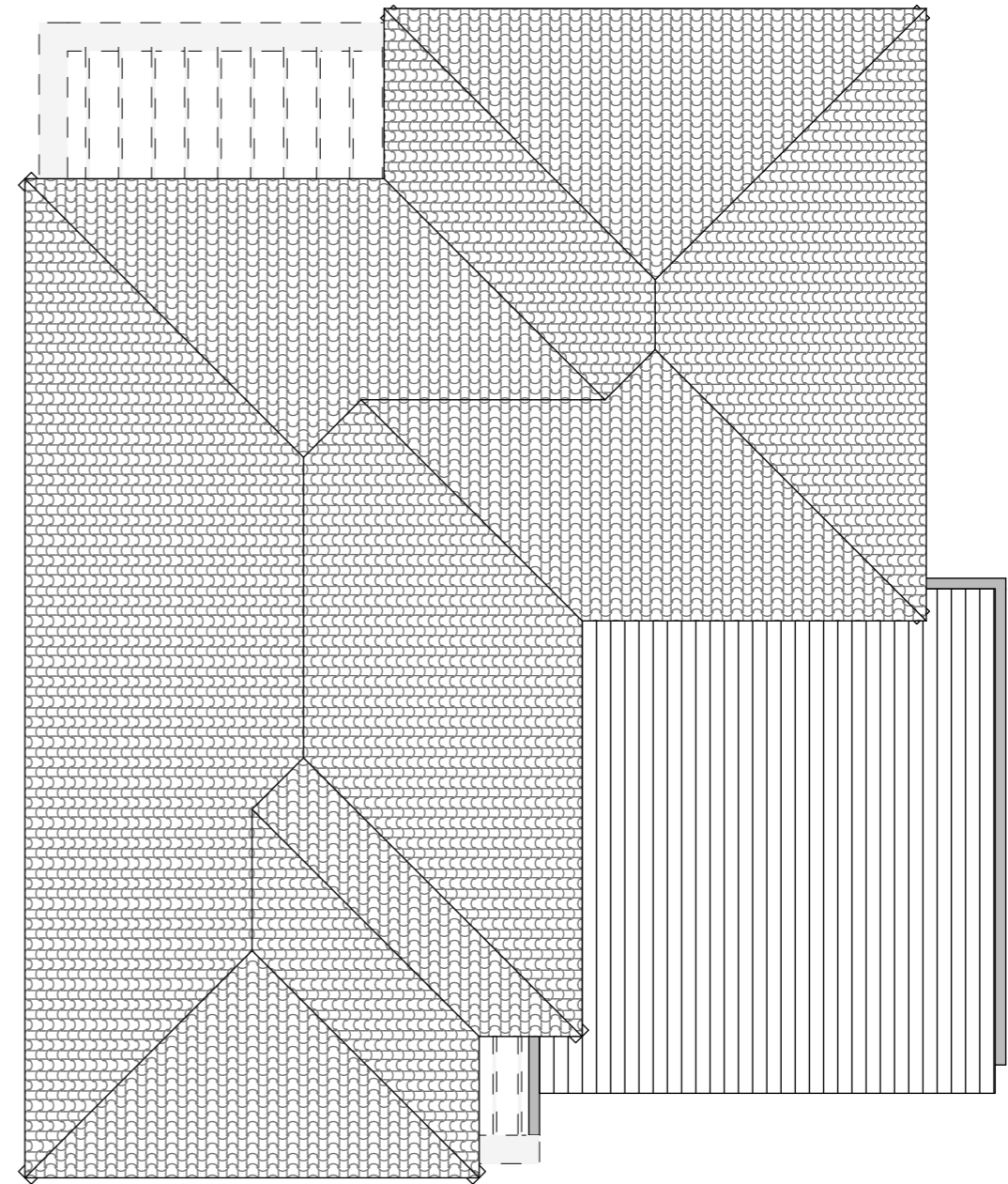
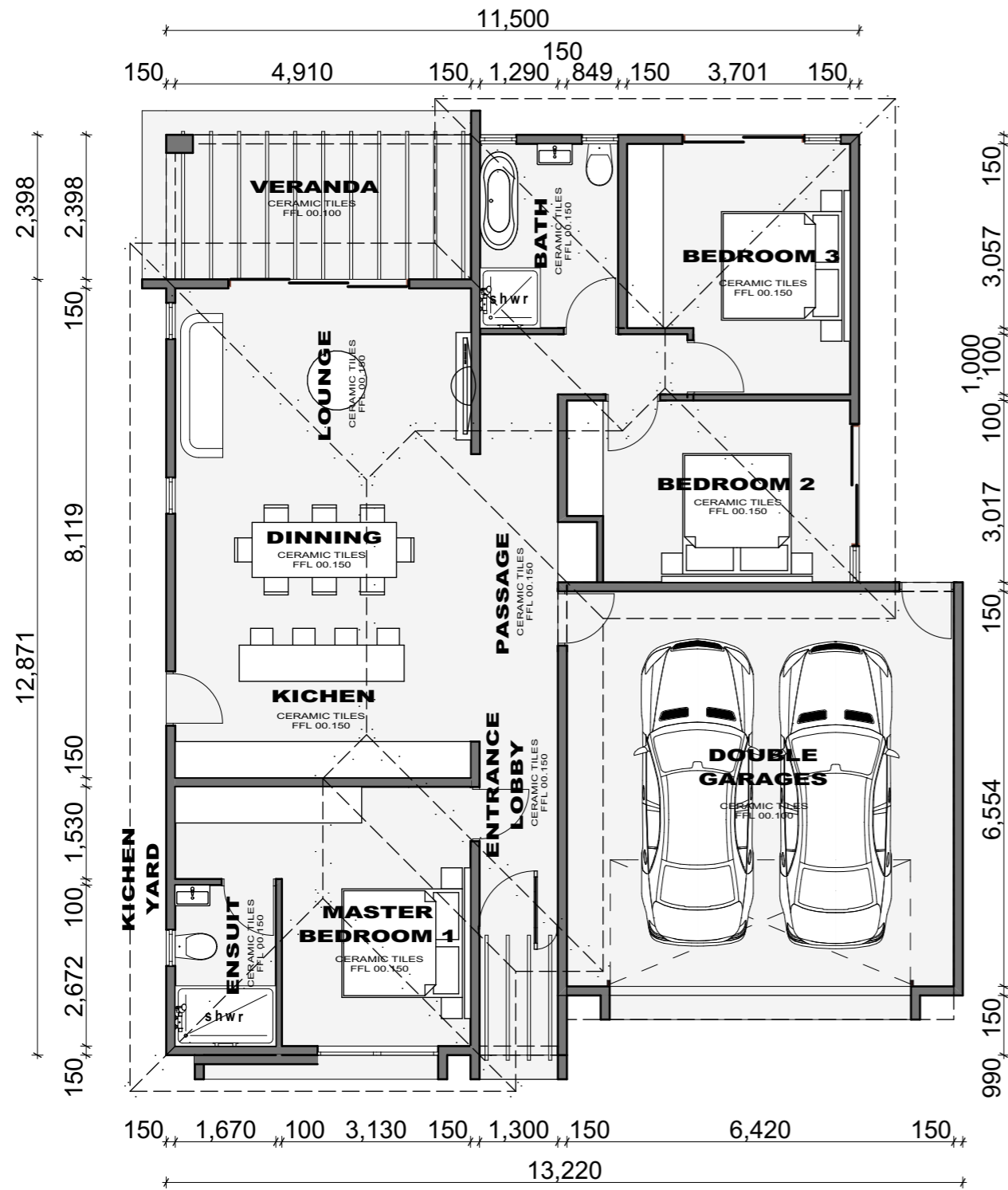
ENGOME DEVELOPMENT

TERRACE

client:



ENGOME DEVELOPMENT
REMAINDER OF THE FARM
BURRUPS No.
17757



GROUND FLOOR AREA	124 m ²
VERANDA	13 m ²
GARAGE	45 m ²

FLOOR PLAN
1:100

ROOF PLAN
1:100

ENGOME DEVELOPMENT

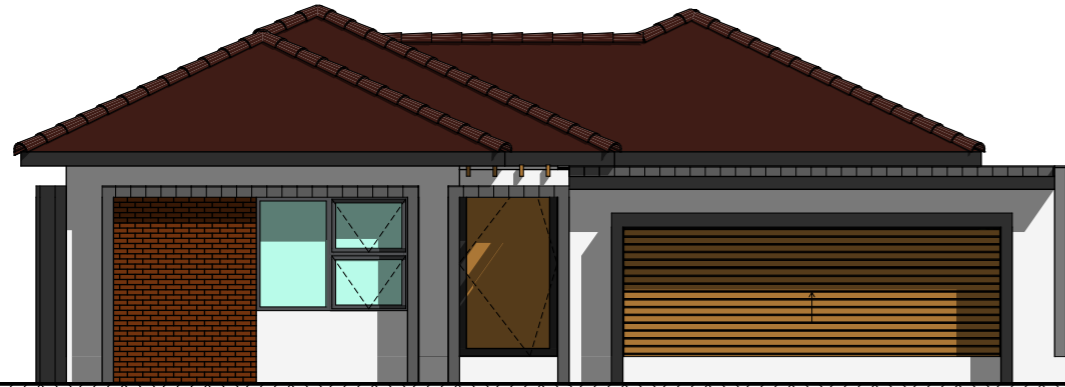
FREE STANDING



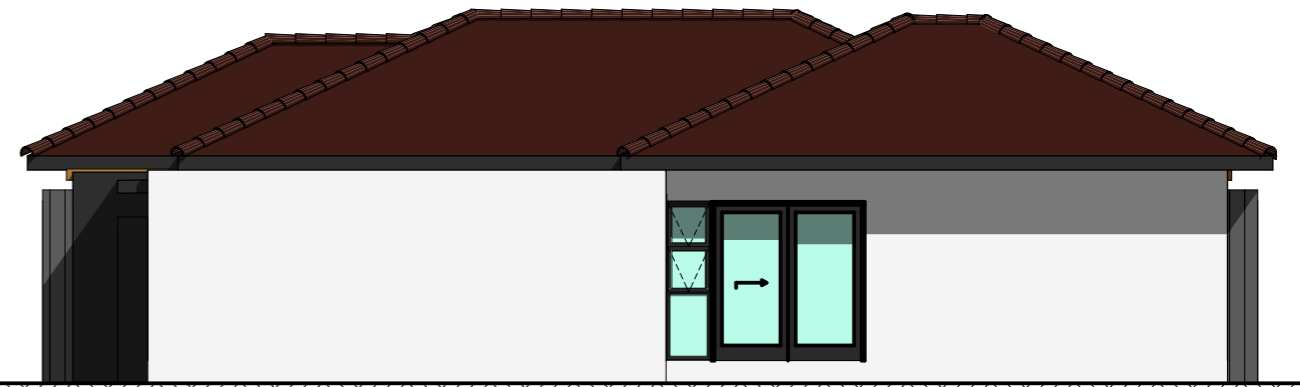
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client:

ENGOME DEVELOPMENT
REMAINDER OF THE FARM
BURRUPS No.
17757



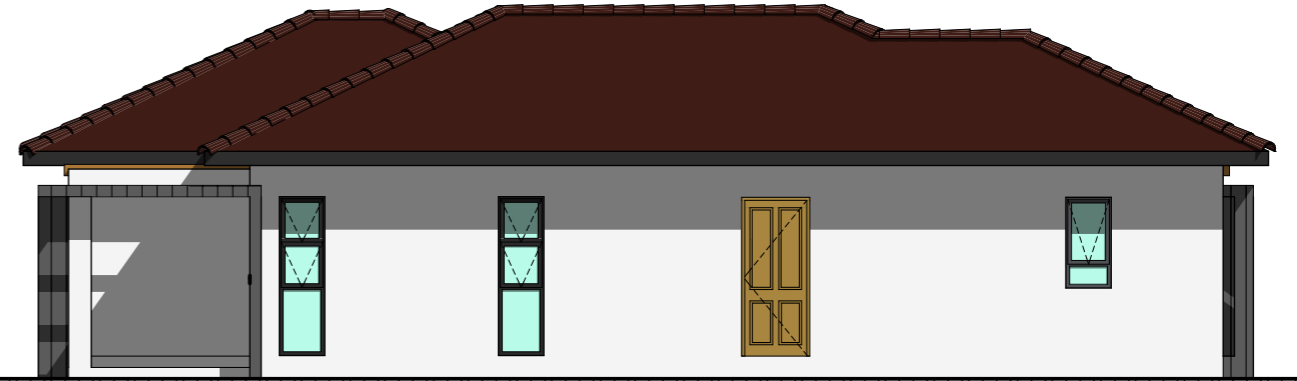
FRONT ELEVATION
Scale 1:100



SIDE ELEVATION
Scale 1:100



BACK ELEVATION
Scale 1:100



SIDE ELEVATION
Scale 1:100

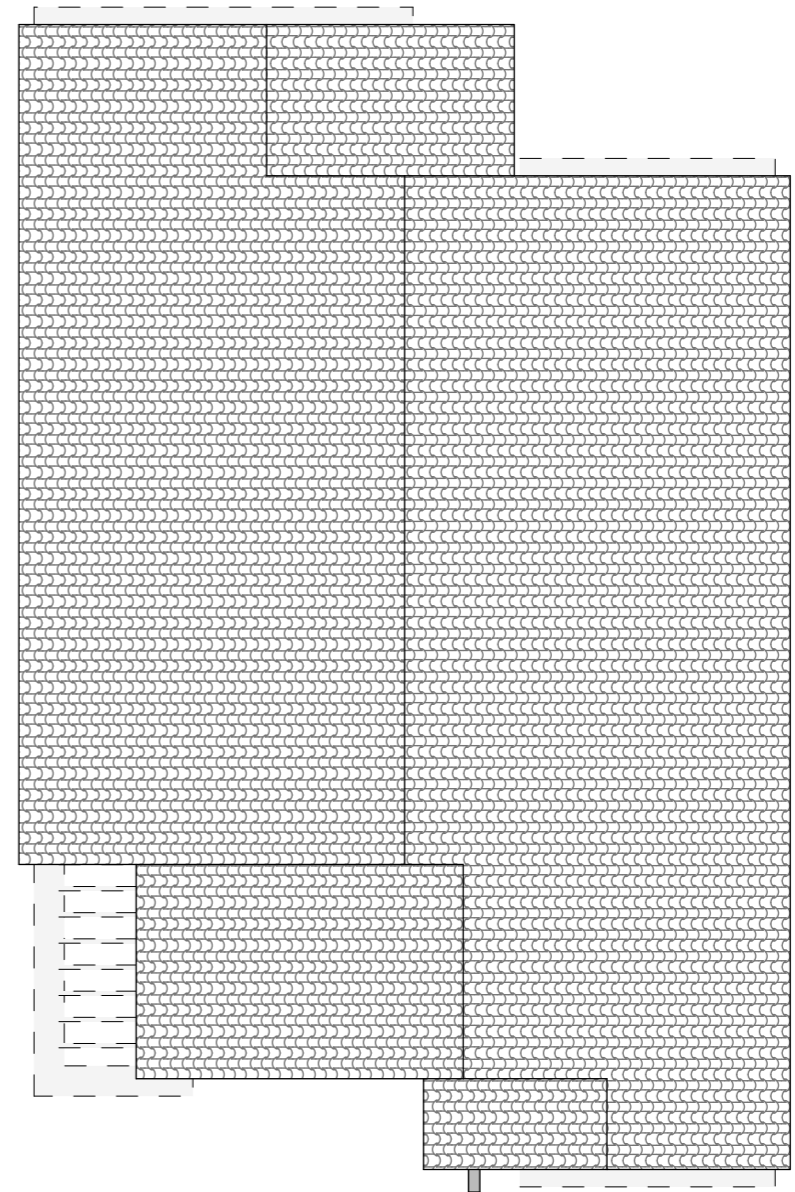
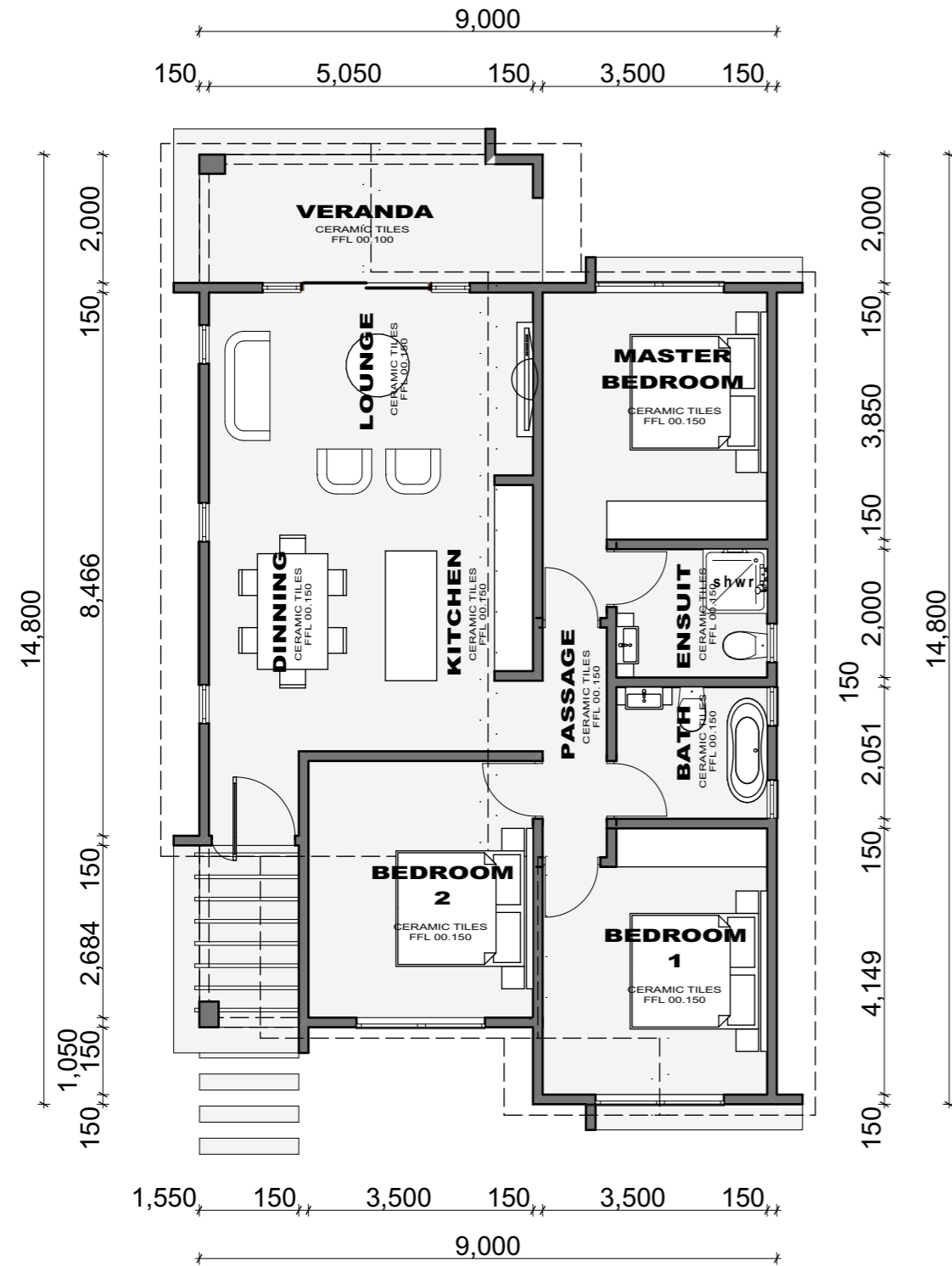
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BURRUPS No.
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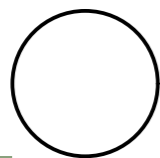
FLOOR PLAN
1:100

ROOF PLAN
1:100

GROUND FLOOR AREA	124 m ²
VERANDA	13 m ²
GARAGE	45 m ²



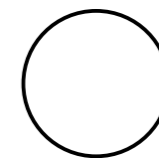
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ENGOME DEVELOPMENT

FREE STANDING

client:



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REMAINDER OF THE FARM
BURRUPS No.
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FRONT ELEVATION
Scale 1:100



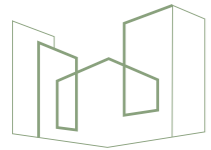
SIDE ELEVATION
Scale 1:100



BACK ELEVATION
Scale 1:100



SIDE ELEVATION
Scale 1:100

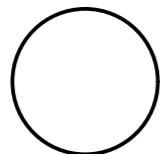


GOSPARCH

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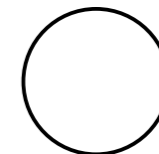
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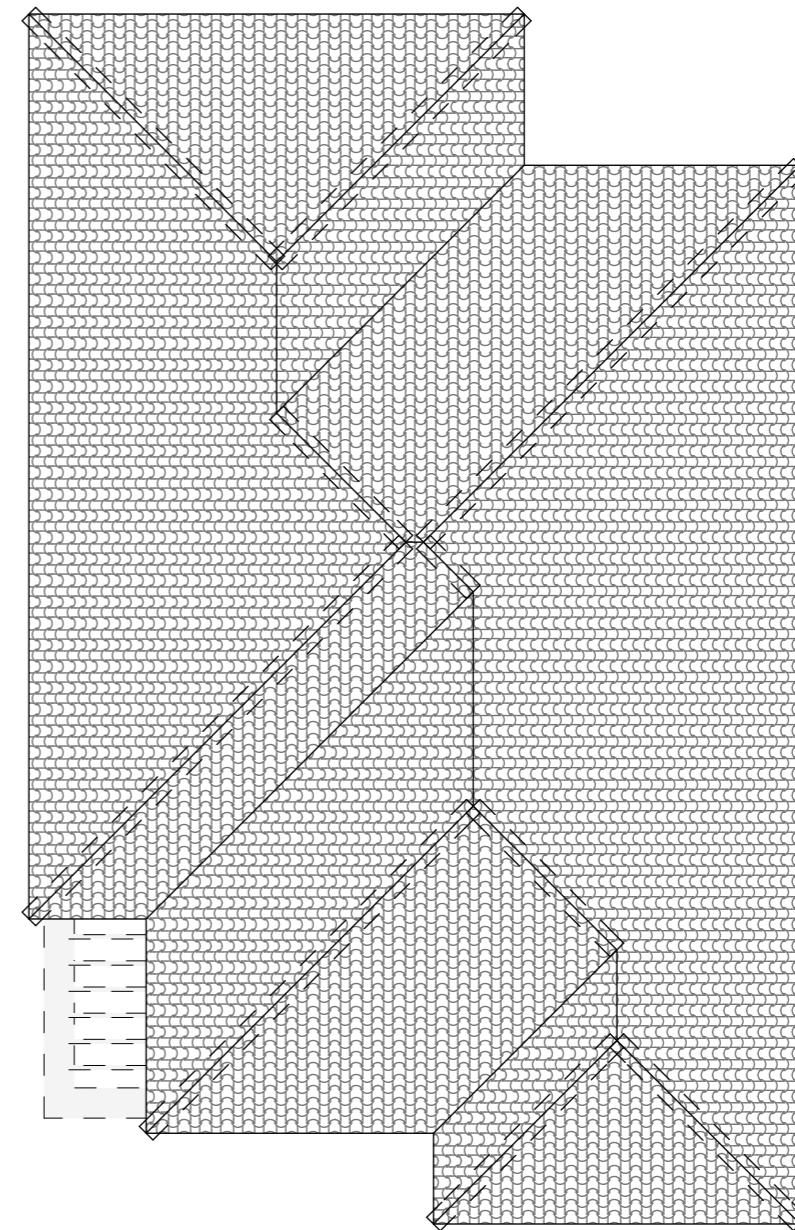
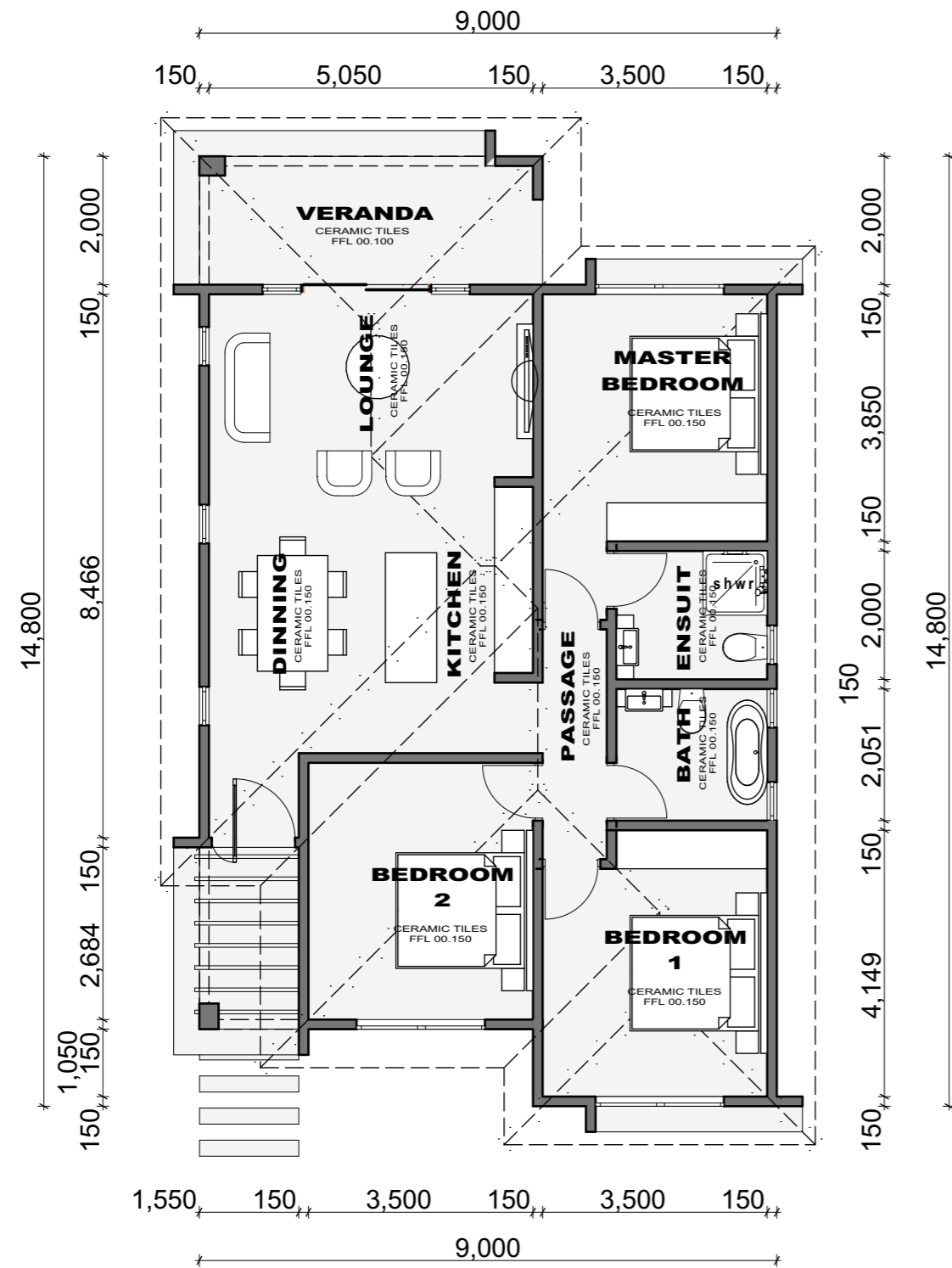


ENGOME DEVELOPMENT

FREE STANDING



ENGOME DEVELOPMENT
REMAINDER OF THE FARM
BURRUPS No.
17757



GROUND FLOOR AREA	124 m ²
VERANDA	13 m ²
GARAGE	45 m ²

FLOOR PLAN
1:100

ROOF PLAN
1:100

ENGOME DEVELOPMENT
FREE STANDING



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client:

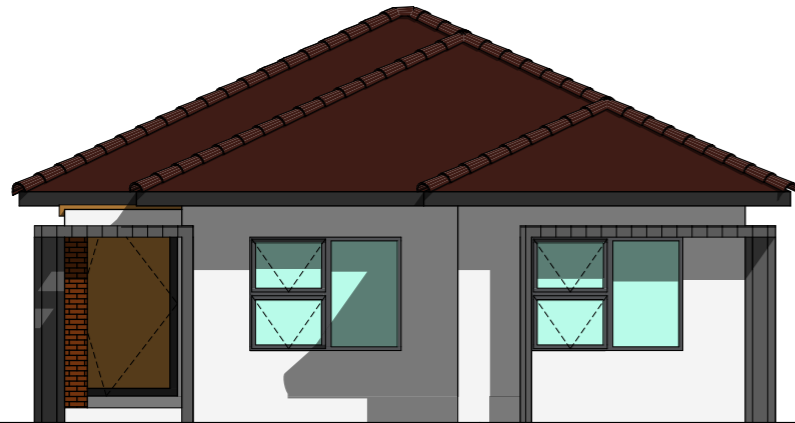
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REMAINDER OF THE FARM
BURRUPS No.
17757



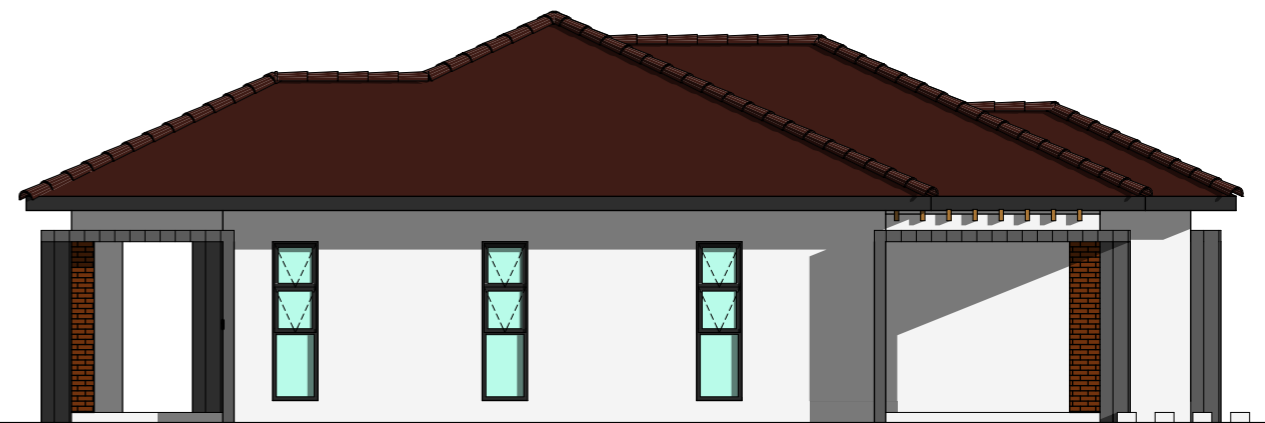
FRONT ELEVATION
Scale 1:100



SIDE ELEVATION
Scale 1:100



BACK ELEVATION
Scale 1:100



SIDE ELEVATION
Scale 1:100

ENGOME DEVELOPMENT

FREE STANDING

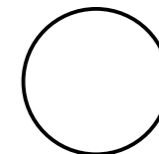
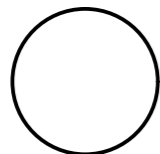


GOSPARCH

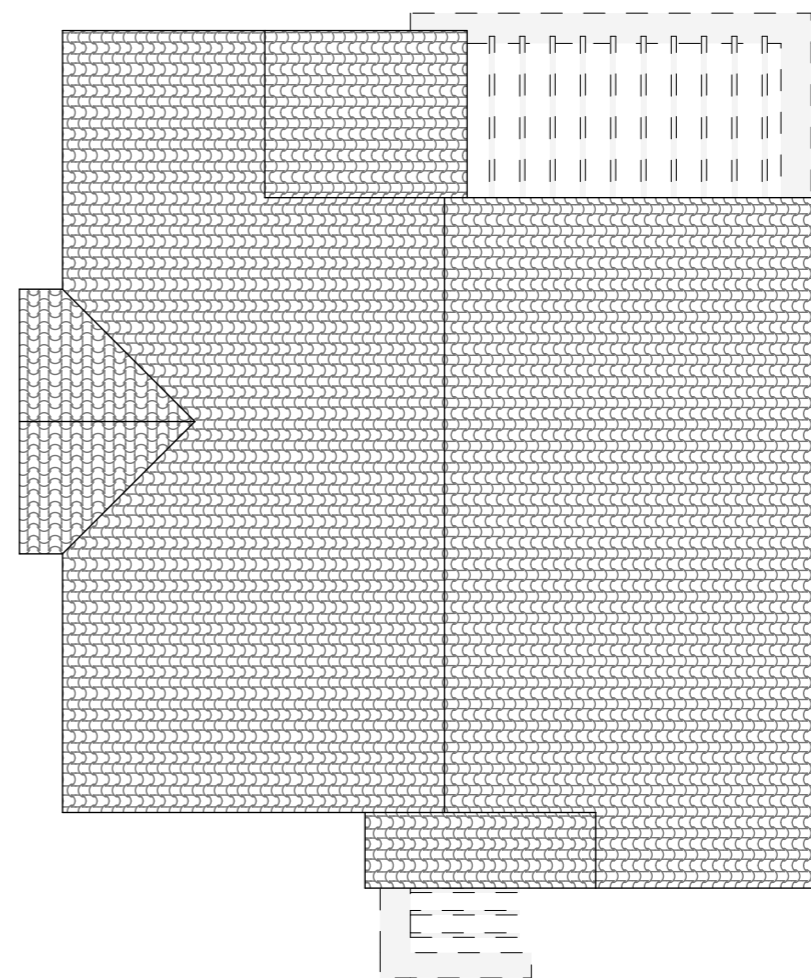
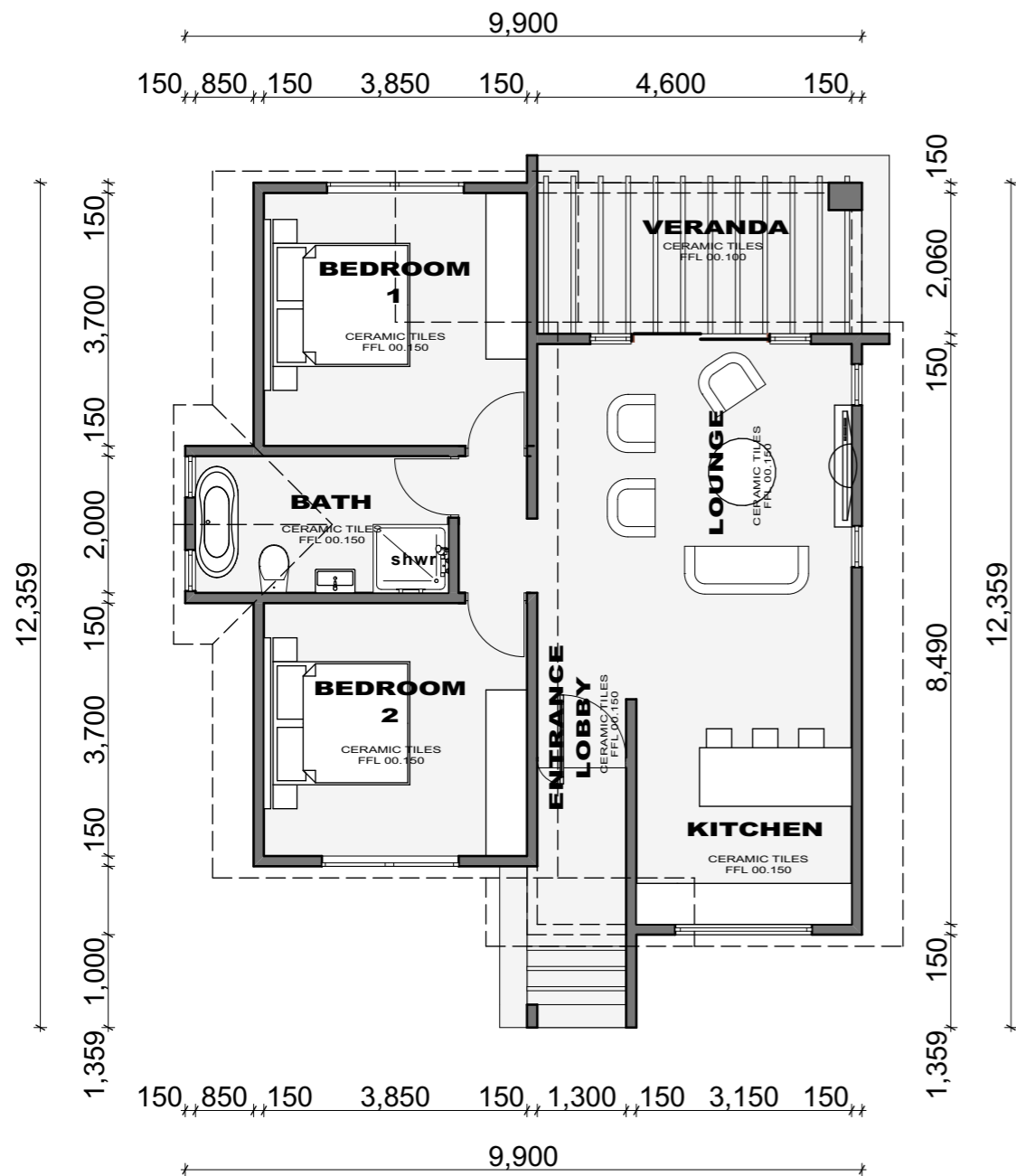
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ENGOME DEVELOPMENT
REMAINDER OF THE FARM
BURRUPS No.
17757



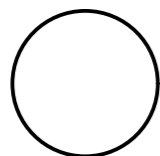
FLOOR PLAN
1:100

ROOF PLAN
1:100

GROUND FLOOR AREA	124 m ²
VERANDA	13 m ²
GARAGE	45 m ²



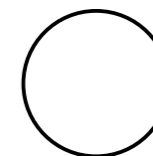
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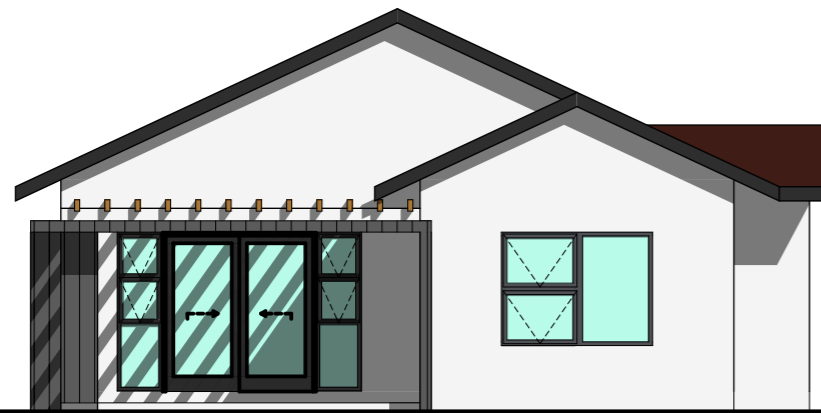
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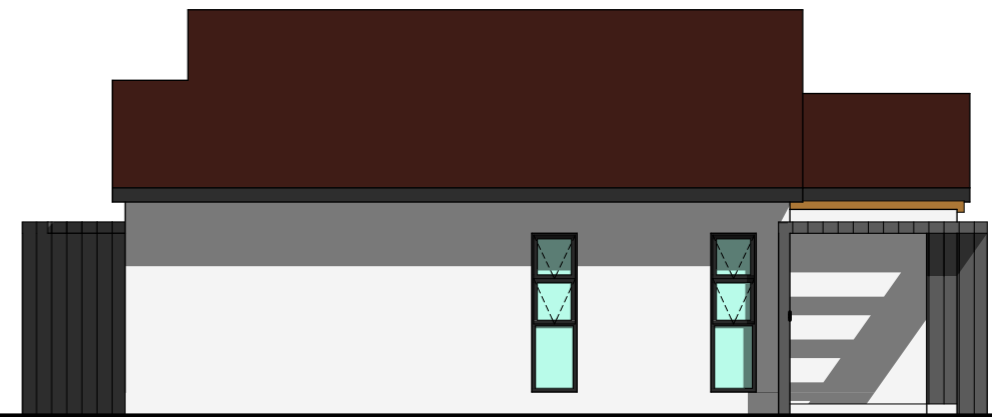
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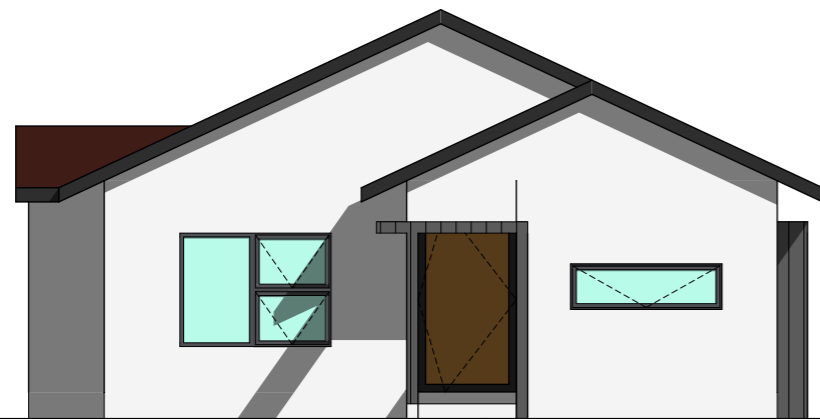
ENGOME DEVELOPMENT
REMAINDER OF THE FARM
BURRUPS No.
17757



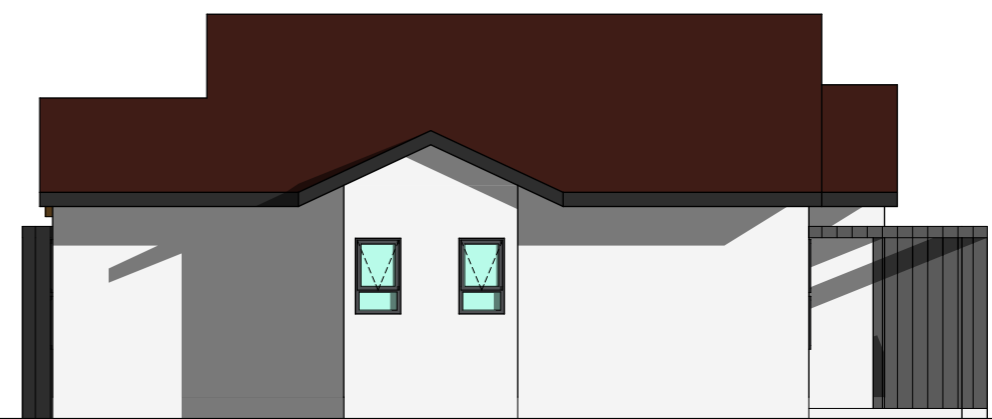
FRONT ELEVATION
Scale 1:100



SIDE ELEVATION
Scale 1:100



BACK ELEVATION
Scale 1:100



SIDE ELEVATION
Scale 1:100

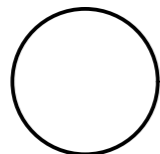


GOSPARCH

Architectural Design - Build - Manage

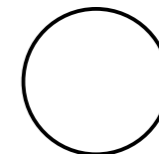
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ENGOME DEVELOPMENT

FREE STANDING

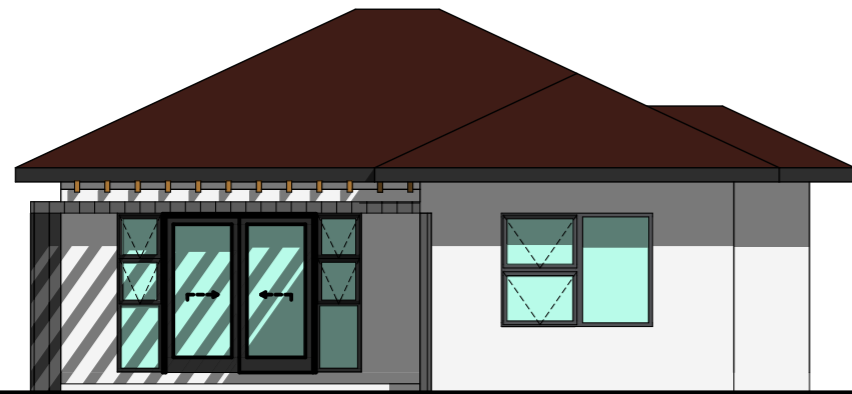


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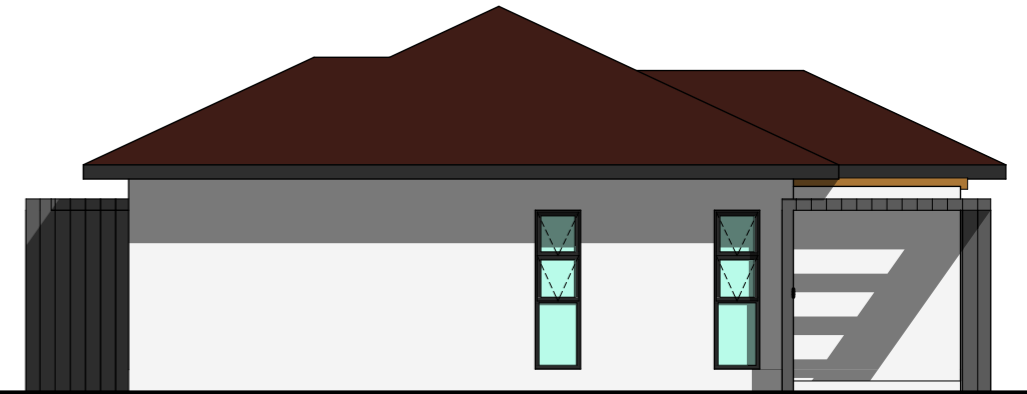
REMAINDER OF THE FARM

BURRUPS No.

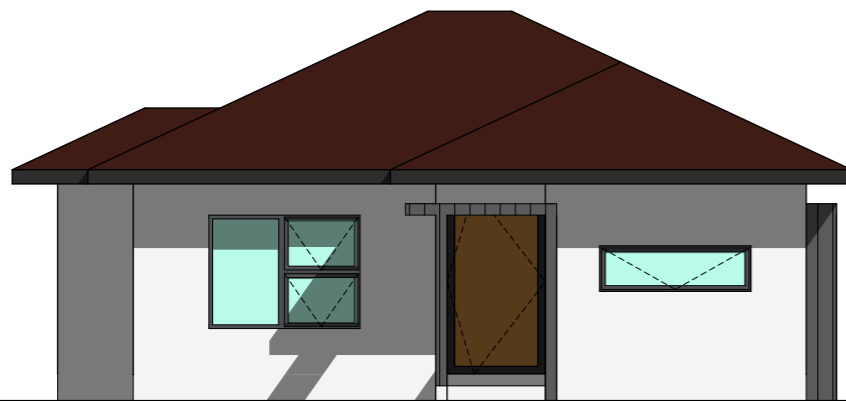
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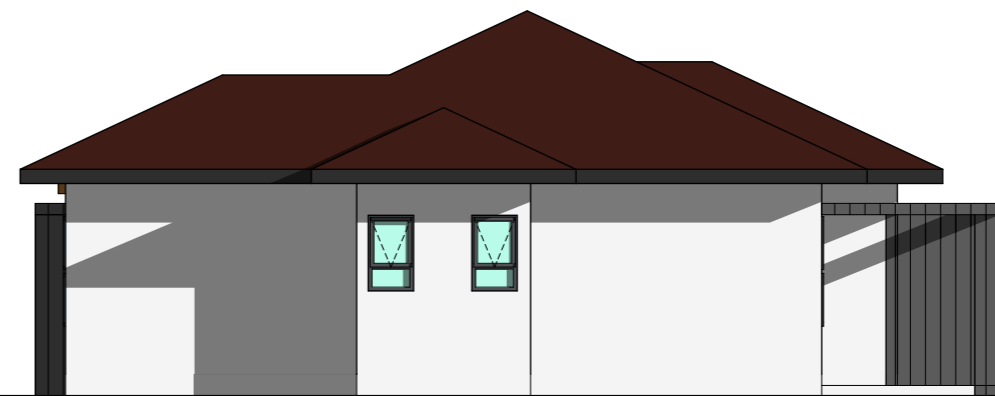
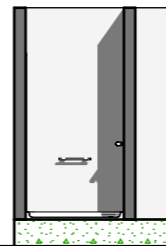
FRONT ELEVATION
Scale 1:100



SIDE ELEVATION
Scale 1:100



BACK ELEVATION
Scale 1:100



SIDE ELEVATION
Scale 1:100

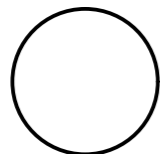


GOSPARCH

Architectural Design - Build - Manage

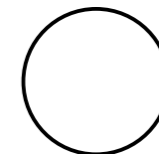
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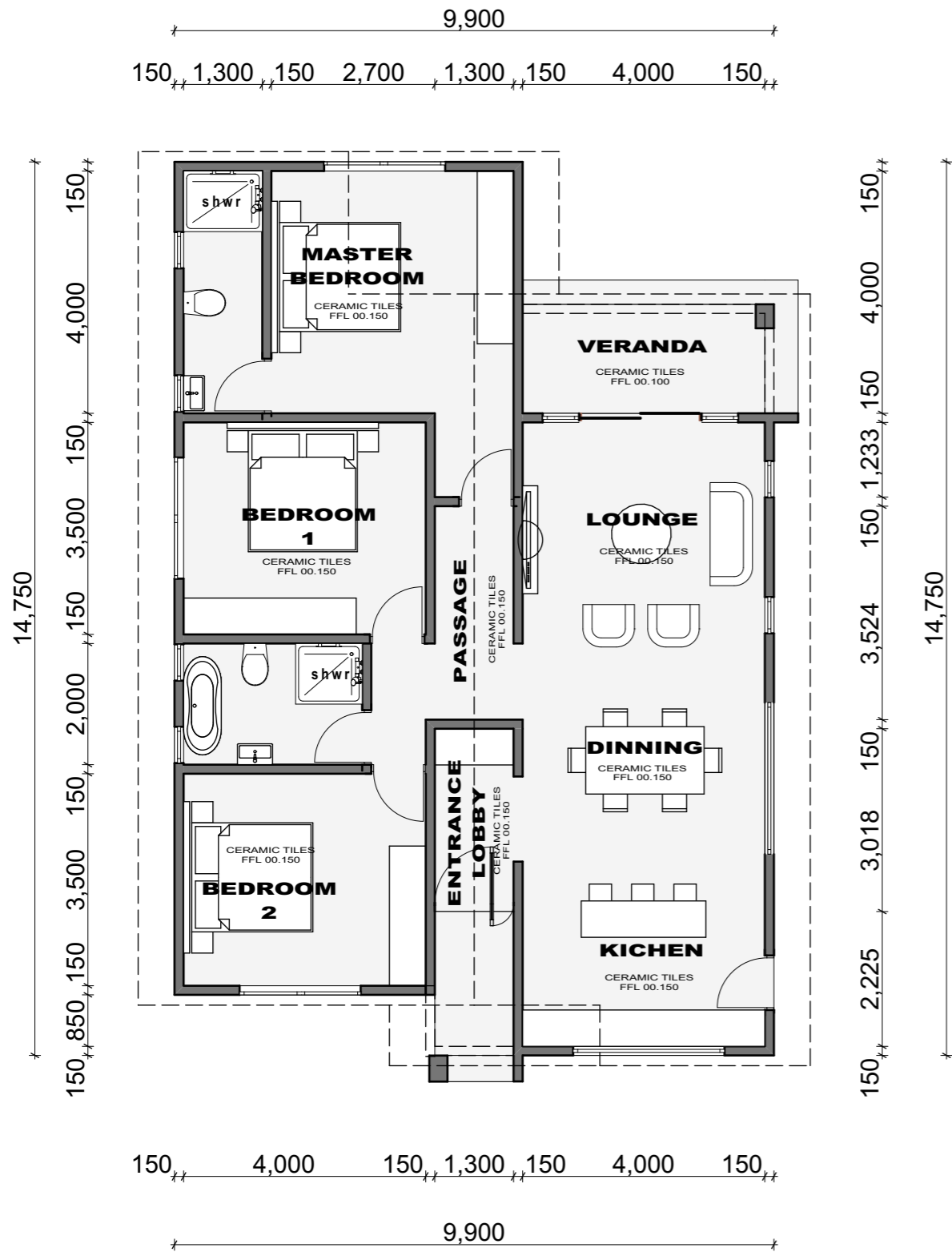


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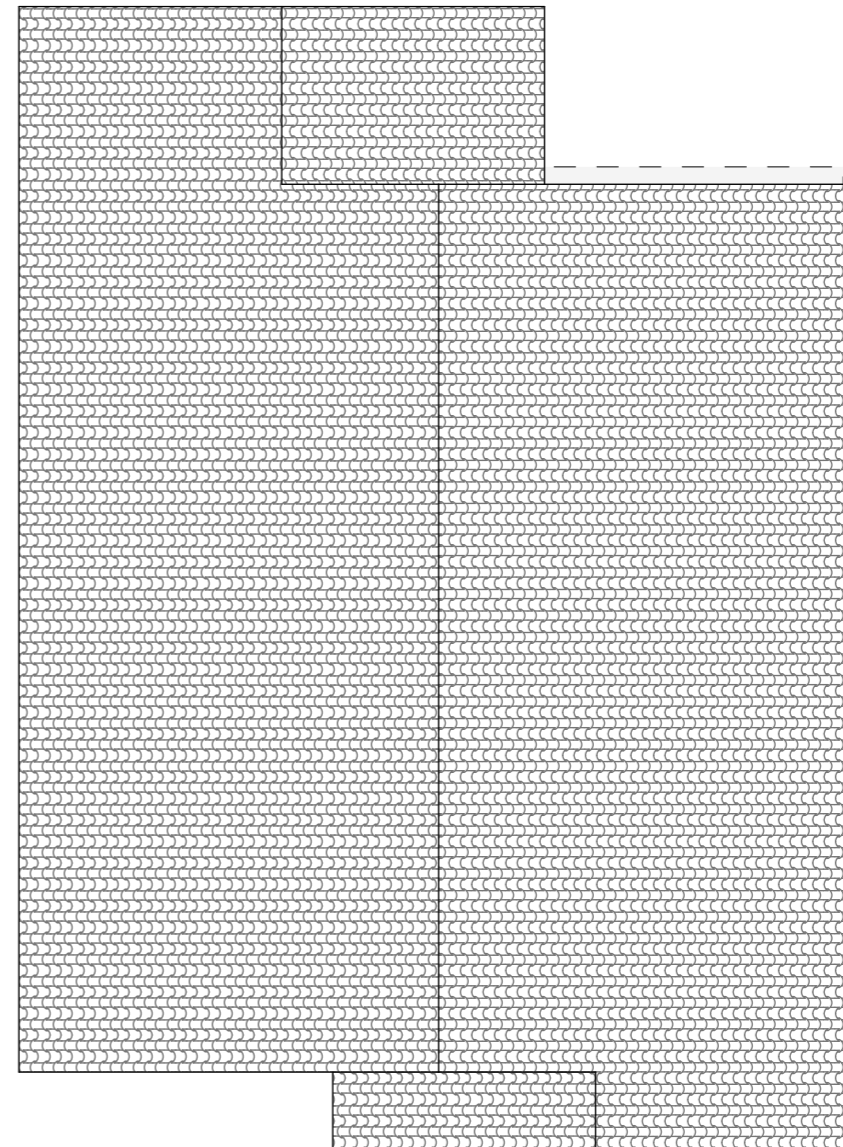
FREE STANDING



ENGOME DEVELOPMENT
REMAINDER OF THE FARM
BURRUPS No.
17757



FLOOR PLAN
1:100

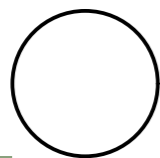


ROOF PLAN
1:100

GROUND FLOOR AREA	124 m ²
VERANDA	13 m ²
GARAGE	45 m ²



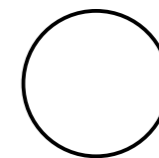
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ENGOME DEVELOPMENT

FREE STANDING

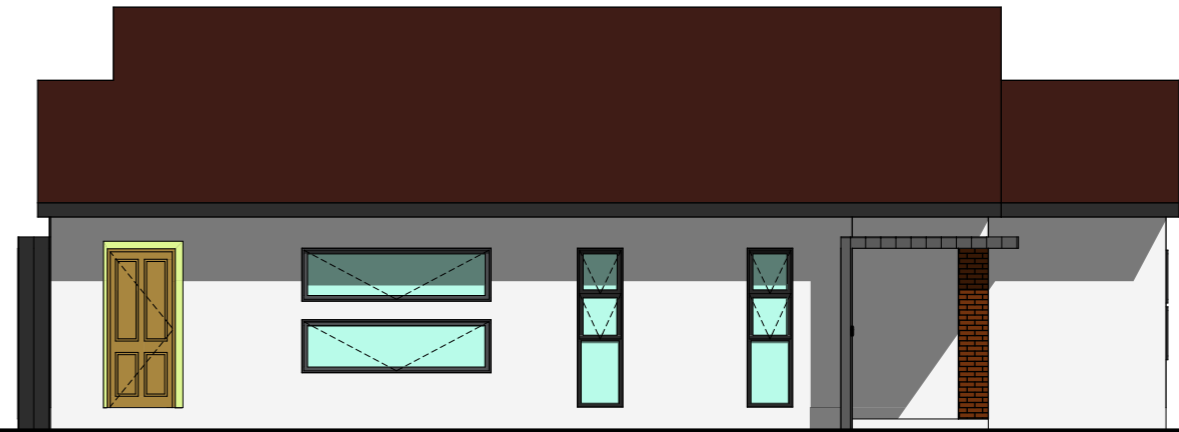
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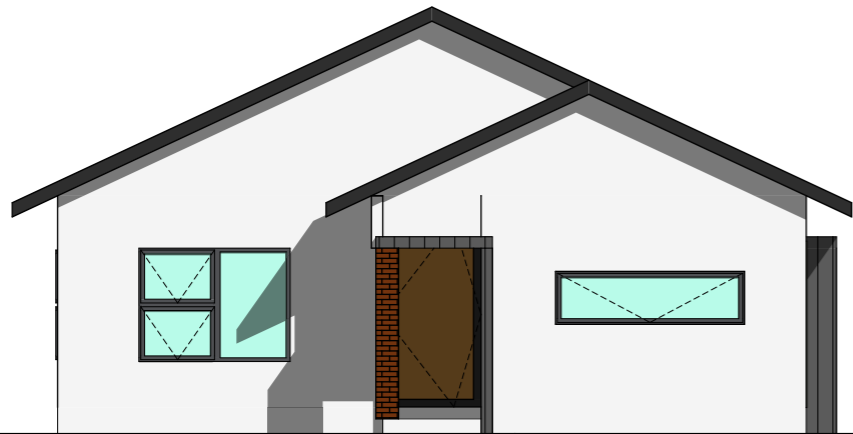
ENGOME DEVELOPMENT
REMAINDER OF THE FARM
BURRUPS No.
17757



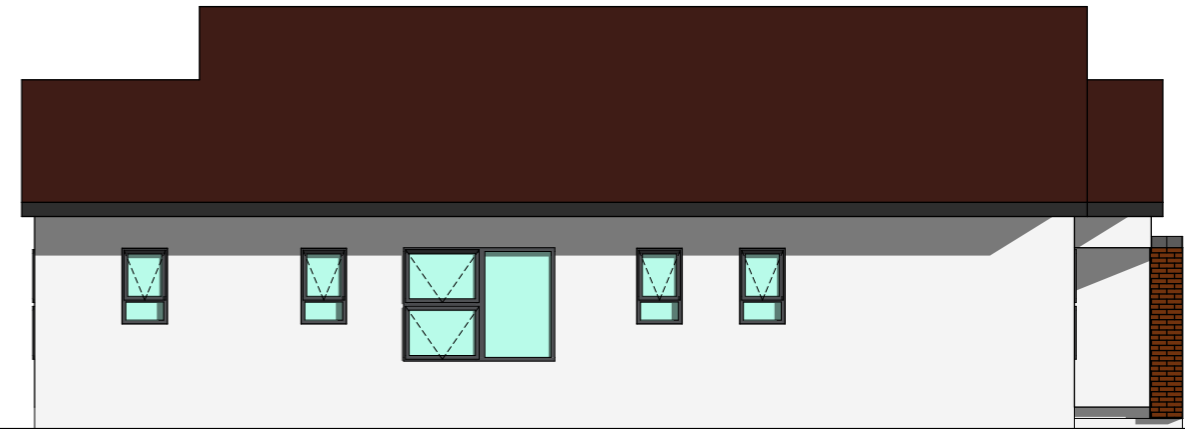
FRONT ELEVATION
Scale 1:100



SIDE ELEVATION
Scale 1:100



BACK ELEVATION
Scale 1:100

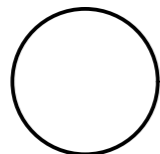


SIDE ELEVATION
Scale 1:100



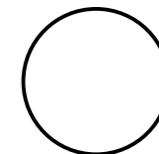
GOSPARCH
Architectural Design - Build - Manage

065 900 1968 / 071 750 6787
gosparch@gmail.com / phumlanmongez@gmail.com

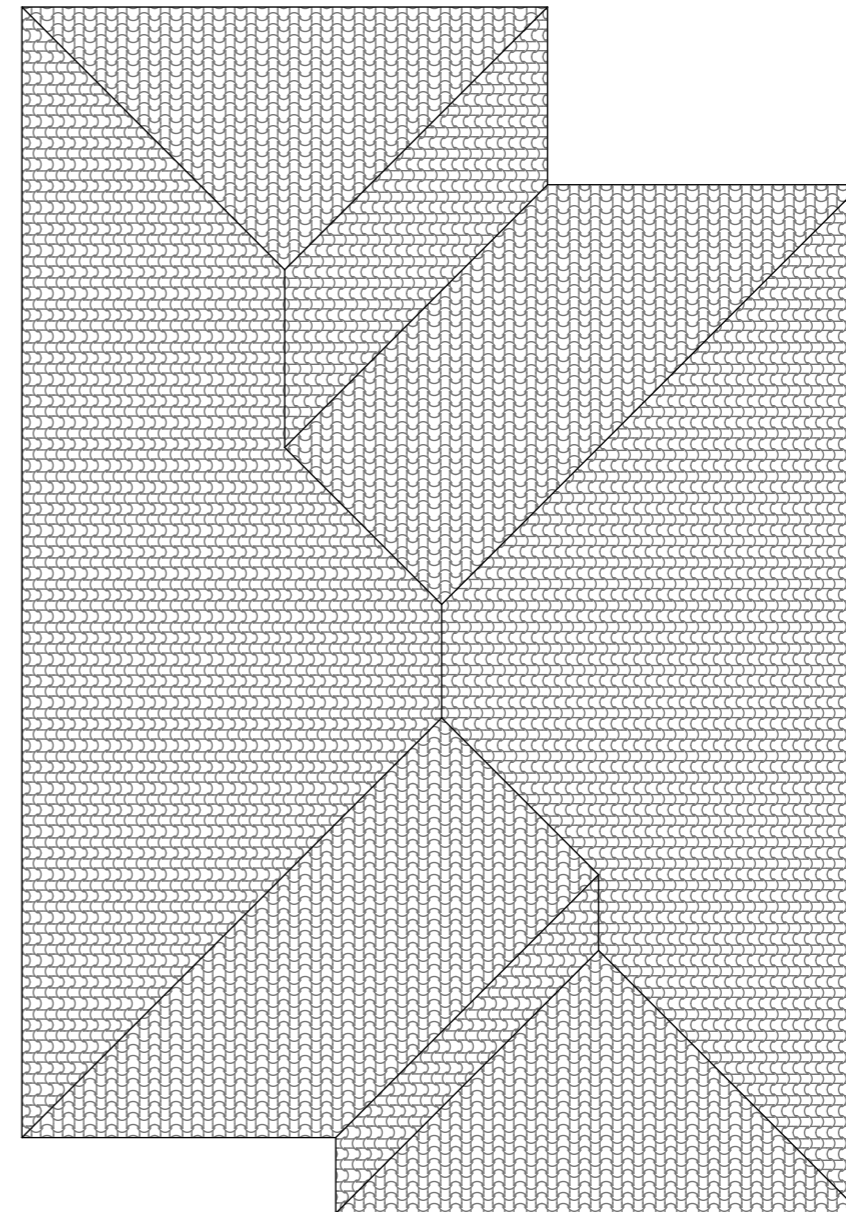
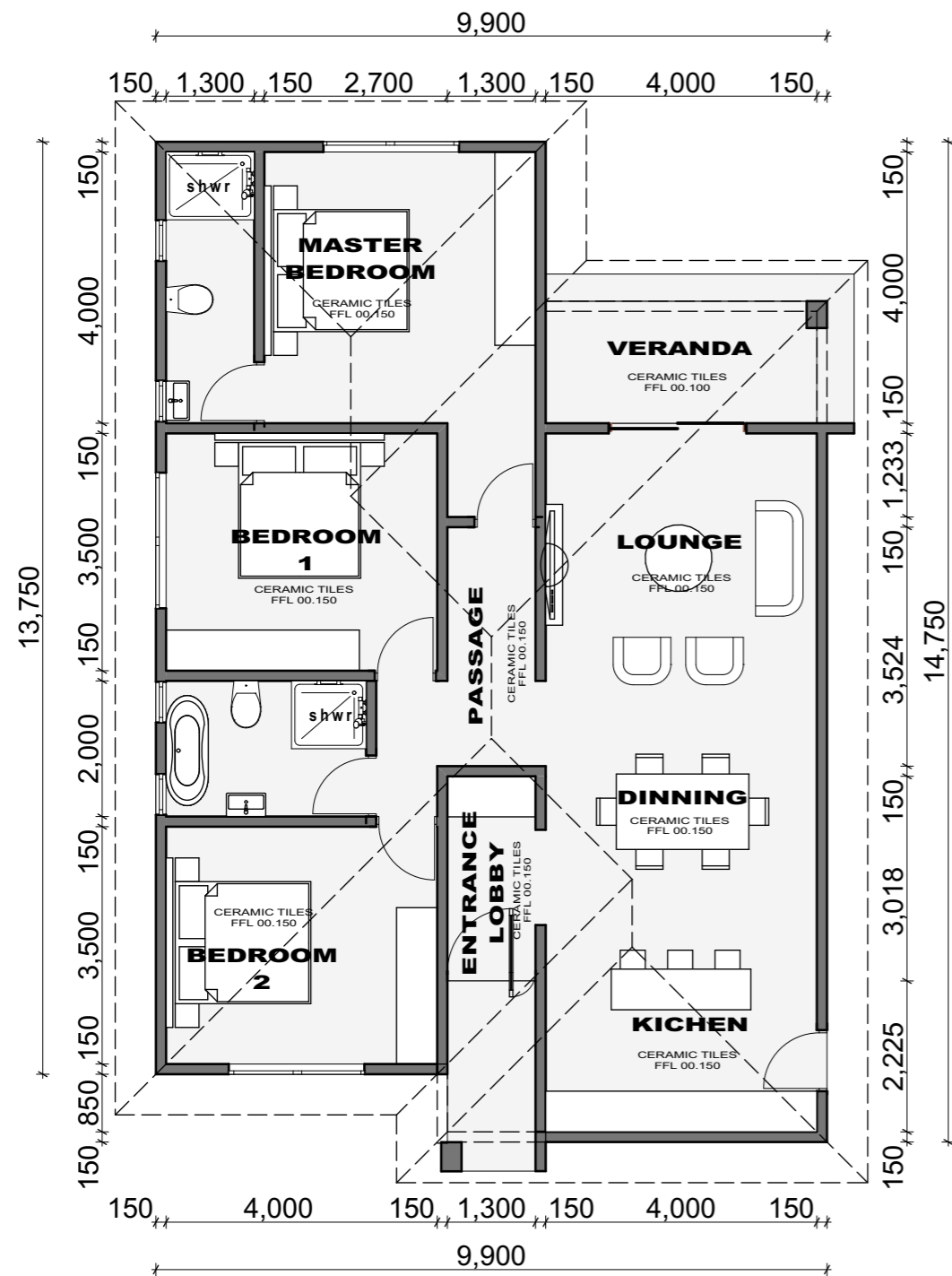


ENGOME DEVELOPMENT

FREE STANDING



ENGOME DEVELOPMENT
REMAINDER OF THE FARM
BURRUPS No.
17757



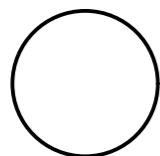
FLOOR PLAN
1:100

ROOF PLAN
1:100

GROUND FLOOR AREA	124 m ²
VERANDA	13 m ²
GARAGE	45 m ²



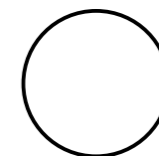
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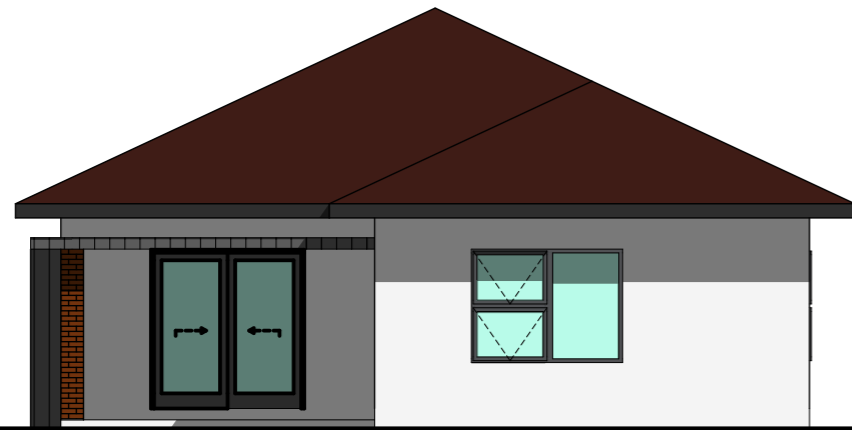
ENGOME DEVELOPMENT

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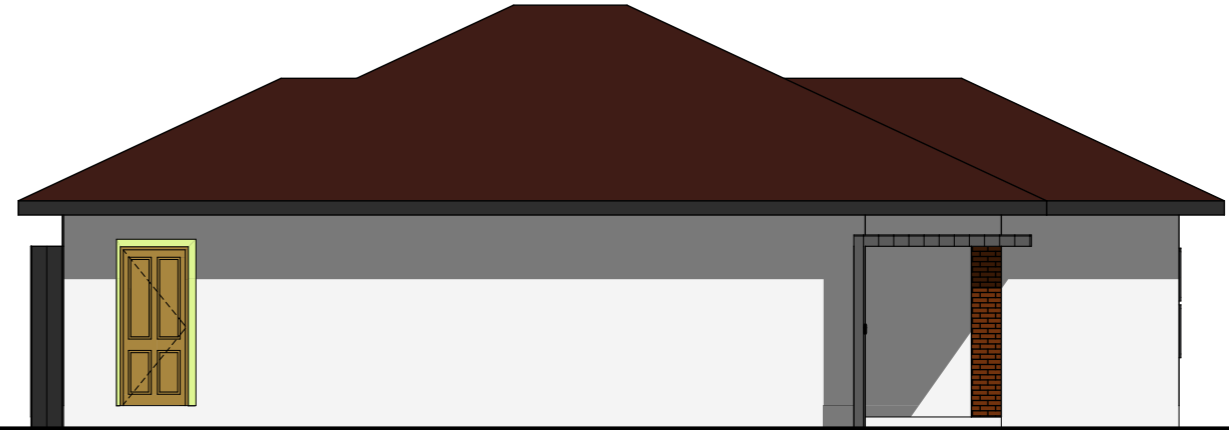
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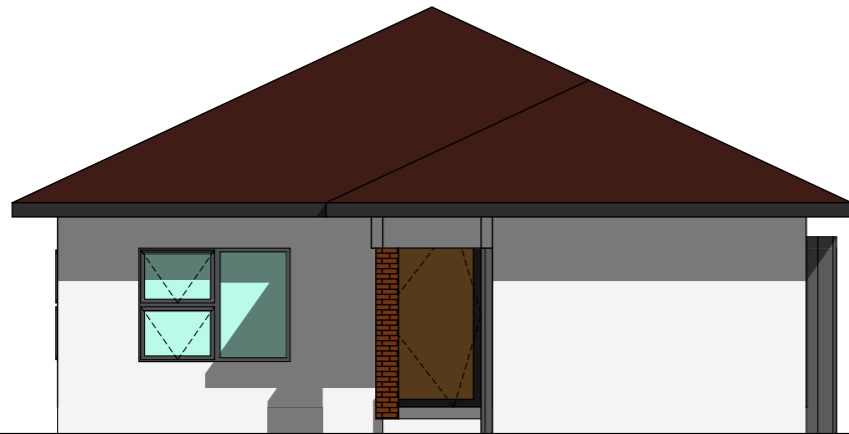
ENGOME DEVELOPMENT
REMAINDER OF THE FARM
BURRUPS No.
17757



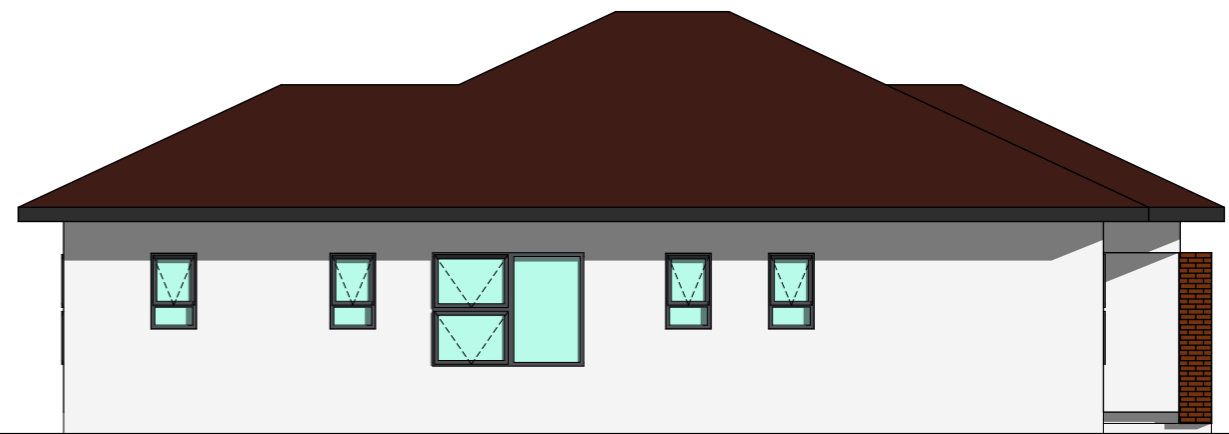
FRONT ELEVATION
Scale 1:100



SIDE ELEVATION
Scale 1:100



BACK ELEVATION
Scale 1:100



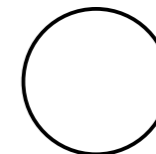
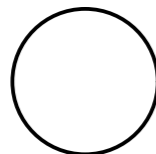
SIDE ELEVATION
Scale 1:100

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