

# **MINTOS VIEW**

**40 UNITS**

---

**NEW DEVELOPMENT**

**SELLING FROM R1,670,000**

**TRANSFER & BOND COSTS INCL**  
(T&C Apply)



*Introducing*

## **Mintos View**

New development situated in Rustenburg's new upmarket residential area, nestled along the hilltop on the edge of the old Cashan's greenbelt. Enjoy stunning views of Rustenburg from your balcony while living in a peaceful, sought-after location.

Choose from 40 sectional title homes, including 20 free-standing and 20 semi-detached options. Each home offers spacious living with three designs: Type A, Type B, and Type C, featuring elegant double-story architecture that blends style, comfort, and functionality perfectly.

**40 UNITS / 2 PHASES / 3 UNIT TYPES**

**NOW SELLING!**

*Transfer and bond fees included*

### **NB! Architectural Plans**

**The artist impressions used in marketing material and may not reflect the exact design of the architect and implementation by the developer in either design or layout.**

## MINTOS VIEW

### Finishes Schedule

- Chroma-deck roofs (Charcoal grey)
- Interlock concrete paving
- Brick and plaster walls
- Aluminum windows
- Covered patio
- Main bedroom balcony
- Lock up garage with electric motor
- Electric plug point plumbing point and light in garage
- Garden with lawn
- Built braai
- Wooden internal doors and frames
- Linen cupboard
- Glass panel showers
- Fold up washing line
- Energy saving lights through out
- Solar geyser
- Aircon isolator

### Finishing Choices

#### Choice within developer's selection:

- Floor tiles throughout
- Wall tiles to ceiling in bathrooms and kitchen
- Standard built in cupboards in bedrooms
- Standard built in cupboards in kitchen
- Standard built in linen cupboard and vanities
- Granite or quartz (extra cost) counter tops in kitchen and vanities.
- Electric or gas (extra cost) hob and under counter oven.
- Standard shower glass panel

***Optional choices are available at cost.***

### Complex Features

- Garden sizes approximately: 60 sqm - Sectional Title
- Visitors parking x 19
- Guard house with 24 Hour security.
- Owner access control.
- Phone in-out system.
- Perimeter wall electricity fence.
- Solar geysers
- Fiber ready

# MINTOS VIEW – Pricing schedule

## Unit Descriptions

### Ground Floor

	A	B	C
Garage - Double (automated)	✓	✓	
Garage - Single (automated)			✓
Single Parking	✓	✓	
Single Carport			✓
Lounge (open plan)	✓	✓	✓
Dining room (open plan)	✓	✓	✓
Kitchen (open plan)	✓	✓	✓
Guest toilet	✓	✓	✓
Covered Patio with build braai	✓	✓	✓
Garden with lawn	✓	✓	✓
Kitchen yard			✓

### Top Floor

	A	B	C
3 Bedrooms	✓	✓	✓
2 Bathrooms (main en-suite)	✓	✓	✓
Balcony	✓	✓	✓
Linen cupboard	✓	✓	✓
Pajama lounge ( <i>Type B only</i> )		✓	

## Optional Structural Changes

### Ground Floor

Merge patio and lounge.

*(Type A & B only)*

**R65,000.00**

Convert kitchen yard into study. *(Type C only)*

**R15,000.00**

A	B	C
✓	✓	
		✓

### Top Floor

Convert pajama lounge into 4th bedroom. *(Type B only)*

**R15,000.00**

A	B	C
	✓	

## Pricing & Unit Availability

### PHASE 1

	Unit Availability					
TYPE A	1	2	3	4		
TYPE B	15	16	17	18		
TYPE C	5	6	7	8	9	10
	11	12	13	14		

### PHASE 2

TYPE A	37	38	39	40		
TYPE B	19	20	21	22	23	24
	25	26				
TYPE C	27	28	29	30	31	32
	33	34	35	36		

Semi-detached units



### Pricing

	Price	Size	Building Type
<b>Type A</b>	R1,820,000	189m2	Free standing
<b>Type B</b>	R2,170,000	228m2	Free standing
<b>Type C</b>	R1,670,000	167m2	Semi-detached



# MINTOS VIEW

## MONTHLY

ESTIMATE BOND REPAYMENT  
(100% BOND, INT/RATE: 11.75%)

TYPE A : R 19,723.00

TYPE B : R23,516.00

TYPE C : R18,098.00

ESTIMATE SINGLE OR COMBINED  
INCOME TO QUALIFY

TYPE A : R59,100.00

TYPE B : R70,500.00

TYPE C : R54,300.00

BODY CORPORATE FEE

Estimation: R1,800.00

MUNICIPALITY RATES & TAXES

Estimation:

Taxes: R850 Rates: R530

Water: R700 Electricity : Pre-Paid

# COST BREAKDOWN

## ONCE-OFF

MUNICIPALITY CONNECTION FEE

Estimation: R2,250.00

MUNICIPALITY

BACK DATE ACCOUNT AFTER CONNECTION

Estimation : R2,500.00

BANK INITIATION FEE

R6,040.00

DEPOSIT

R5000.00 Deposit payable to secure offer to purchase. Refundable T&C's apply.

TRANSFER AND BOND COSTS

Don't worry the developer has these costs covered.  
T&C's apply



# **COMPLEX**

## **SECTIONAL TITLE**

---

### **MINTOS VIEW**

**40 UNITS / 2 PHASES / 3 UNIT TYPES**

# SITEMAP

## PROPOSED SITE DEVELOPMENT PLAN FOR MINTOS VIEW



1:300

**GENERAL NOTES**  
 All dimensions to be checked prior to construction and any discrepancies to be reported to the architect. No scaling.  
 All specifications and work to be in accordance with SANS 10400 and the National Building Regulations Act, 1977.  
 Electrical and Plumbing work done by registered artisans.  
 Floorlevels to be at least 150mm above outside ngl.  
 Vertical spc to all change in floor levels.  
 All waste fittings to be fitted with reseal traps.  
 No bends or junctions permitted under buildings.  
 All drains under buildings or where less than 150mm below ground level to be in straight runs, encased in concrete with flexible couplings both ends.  
 Minimum fall in soil drains to be 1:40 unless otherwise shown on drawings.  
 All suspended reinforced concrete floor and roof slabs, if specified, to be to a structural design consultant's detail.  
 Finishing to owners choice and satisfaction.  
 All openings exceeding 2.4m span to be spanned by precast concrete lintels.  
 All wastewater pipes to be minimum 50mm diameter.

**KAROL** PO BOX 930039  
 ARCHITECTURAL ELDOPARK 0166  
 DESIGN STUDIO Cel 082 925 6015  
 P I A T.O.M. Horak  
 M.S.A.I.B.D. karoh@absamail.co.za  
 S.A.C.A.P. ST0151

**ERF 2134 CASHAN x34**  
**PROJECT:**  
 PROPOSED NEW TOWNHOUSE  
 COMPLEX - MINTOS VIEW

**DESCRIPTION:**  
 SITE DEVELOPMENT PLAN

**DEVELOPMENT DETAILS:**

TYPE	GROUND	FIRST	TOTAL	AREA
TYPE A (8)	GROUND	105		m <sup>2</sup>
	FIRST	84		m <sup>2</sup>
	<b>TOTAL</b>	<b>189</b>	<b>1880</b>	m <sup>2</sup>
TYPE B (12)	GROUND	124		m <sup>2</sup>
	FIRST	104		m <sup>2</sup>
	<b>TOTAL</b>	<b>228</b>	<b>3192</b>	m <sup>2</sup>
TYPE C (20)	GROUND	93		m <sup>2</sup>
	FIRST	74		m <sup>2</sup>
	<b>TOTAL</b>	<b>167</b>	<b>3340</b>	m <sup>2</sup>
<b>TOTAL (40)</b>			<b>8412</b>	m <sup>2</sup>
<b>ERF AREA</b>			<b>10902</b>	m <sup>2</sup>
<b>COVERAGE (4188 m<sup>2</sup>)</b>			<b>39</b>	%
<b>FAR</b>			<b>0.78</b>	

**HEALTH & SAFETY REQUIREMENTS**  
 All construction work carried out as per plan subject to requirements and specifications laid out in:  
 1 Safety Act (85 of 1993) section 44  
 2 Health & safety specifications reg. 5(1)  
 No liability by architect if scope of works according to Professional Fees Guideline, do not include stages 4, 2, 5 and 6 as per client / architect agreement.

**COPYRIGHT ON ALL DRAWINGS AND SPECIFICATIONS.**

**REVISIONS:**

REV. NO.	DATE	REVISION

SCALE:	PROJECT NO.:
1:100	1479
DESIGN BY:	DATE:
T.H.	OCT 2022
DRAWN:	DRAWING NO.:
T.H.	001
CHECKED:	
T.H.	





# MINTOS VIEW

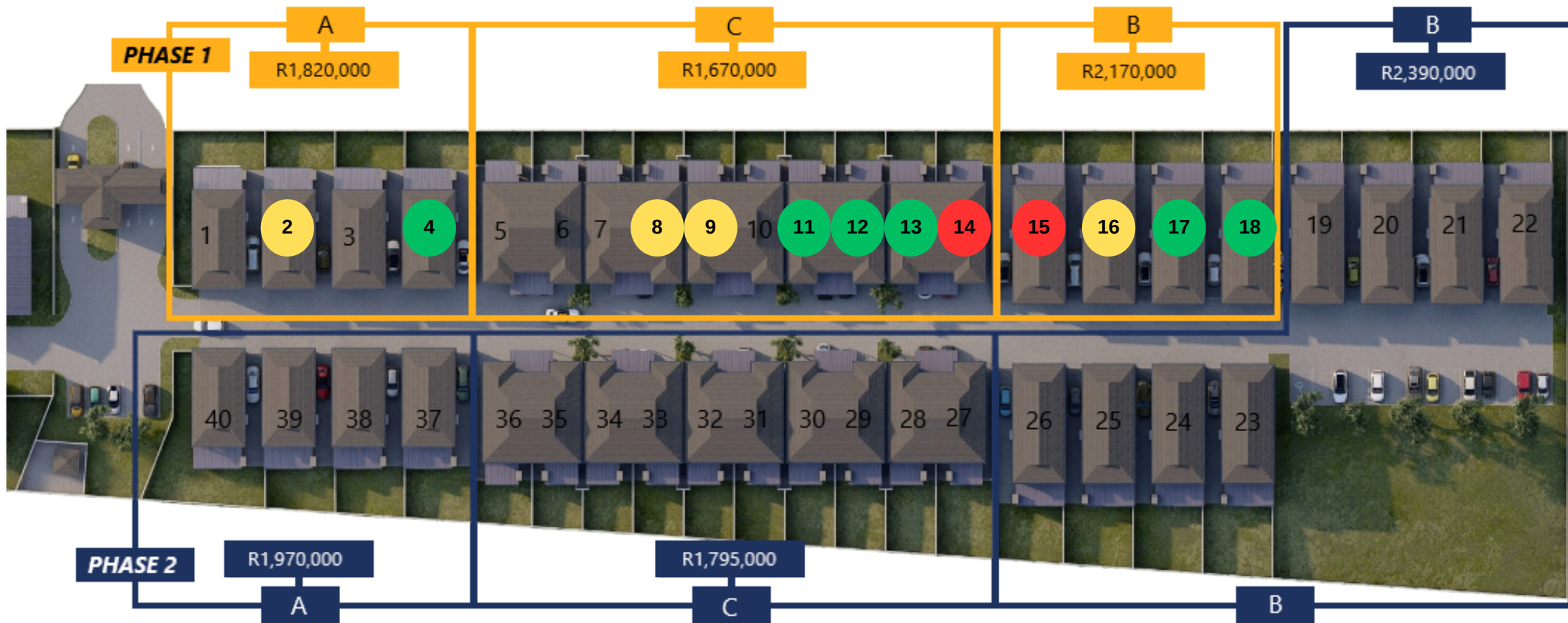
## PHASES & UNIT AVAILABILITY

### PHASE 1 - 18 UNITS

TYPE A - 4 UNITS R1,820,000 (189m<sup>2</sup>)  
 TYPE B - 4 UNITS R2,170,000 (228m<sup>2</sup>)  
 TYPE C - 10 UNITS R1,670,000 (167m<sup>2</sup>)

### PHASE 2 - 22 UNITS

TYPE A - 4 UNITS R1,970,000 (189m<sup>2</sup>)  
 TYPE B - 8 UNITS R2,390,000 (228m<sup>2</sup>)  
 TYPE C - 10 UNITS R1,795,000 (167m<sup>2</sup>)



● PENDING PRE-QUALIFICATION  
 ● OTP/ RESERVED  
 ● SOLD  
 UPDATE : JUNE 2024























# NEW DEVELOPMENT



GOOGLE MAPS ILLUSTRATION (NOT TO SCALE)

Registered with the PPRA



# TYPE A

189m<sup>2</sup>

**PRICE R1,820,000**

**TRANSFER & BOND COSTS INCL**  
(T&C Apply)

**ERF 2134 CASHAN x34**  
 PROJECT:  
 NEW TOWNHOUSE COMPLEX FOR  
 RACKLEY PROPERTIES (PTY) LTD

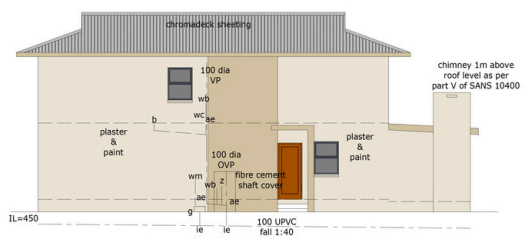
**DESCRIPTION:**  
 WORK DRAWING  
 TYPE A

**DEVELOPMENT DETAILS:**

<b>GROUND FLOOR AREA:</b>	<b>45</b>	<b>m<sup>2</sup></b>
<b>GARAGE AREA:</b>	<b>40</b>	<b>m<sup>2</sup></b>
<b>PATIO AREA:</b>	<b>20</b>	<b>m<sup>2</sup></b>
<b>FIRST FLOOR AREA:</b>	<b>84</b>	<b>m<sup>2</sup></b>
<b>TOTAL AREA:</b>	<b>189</b>	<b>m<sup>2</sup></b>

SCALE: 1:100	PROJECT NO: 1479
DESIGN BY: T.H.	DATE: SEP 2022
DRAWN: T.H.	DRAWING NO: 002
CHECKED: T.H.	

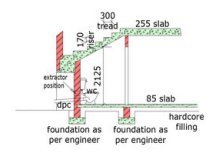
**GENERAL NOTES**  
 All dimensions to be checked prior to construction and any discrepancies to be reported to the architect. No scaling.  
 All specifications and work to be in accordance with SANS 10400 and the National Building Regulations Act, 1977.  
 Electrical and Plumbing work done by registered artisans.  
 Floorlevels to be at least 150mm above outside ngl.  
 Vertical dpc to all change in floor levels.  
 All waste fittings to be fitted with reseal traps.  
 No bends or junctions permitted under buildings.  
 All drains under buildings or where less than 150mm below ground level to be in straight runs, encased in concrete with flexible couplings both ends.  
 Minimum fall in soil drains to be 1:40 unless otherwise shown on drawings.  
 All suspended reinforced concrete floor and roof slabs, if specified, to be to a structural design consultant's detail.  
 Finishing to owners choice and satisfaction.  
 All openings exceeding 2.4m span to be spanned by precast concrete lintols.  
 All wastewater pipes to be minimum 50mm diameter.  
**ROOFNOTES (Metal sheeting) - Part L & XA**  
 Chromadeck sheeting isolated on 76x50 SAP purlins at 1000 crs max. on roof trusses at 1200 crs max. on 114x38 SAP wallplates properly secured with roofribs.  
 Roofpitch to be 18° with cislentation underlay.  
 Truss construction - Prefabricated trusses.  
 All rib sections to be 114x38 SAP V4 grade.  
 All joints secured by 1x10mm bolt & nut and 3x75mm nails. Engineers certificate to be issued to the Local Authority 7 days prior to erection of trusses.  
**CEILING NOTES - XA**  
 Isolation material on herculite ceiling board nailed to 38x38 SAP bracing/struts at 400mm centres with 76 covered cornice.  
**GLAZING NOTES - Part N & XA**  
 0 - 0.75m<sup>2</sup> 3mm glass  
 over 1.5m<sup>2</sup> 4mm glass  
 over 1.5m<sup>2</sup> 6mm glass  
 All slidingdoors to be fitted with 6mm shatterproof glass and recognition markers.  
 All first floor windows lower than 500mm from floor and stairwells to be fitted with 6mm safety glazing and burglar bars.  
**GEYSER NOTES - SOLAR TYPE - XA & SANS 0254**  
 Geyser insulated in blanket & hot water pipes insulated for 1m.



**NORTH EAST ELEVATION 1:100**



**NORTH WEST ELEVATION 1:100**

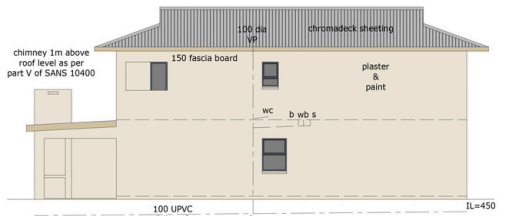


**STAIRCASE DETAIL**  
 No of steps = 17  
 Tread = 300mm  
 Riser = 170mm  
 Steel ballustrade 1m high with 100cc vertical slats

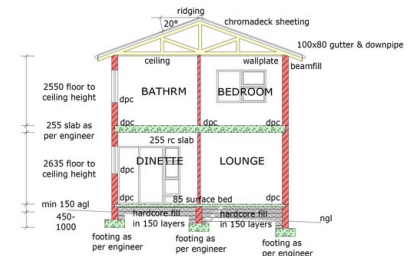
**STAIR DETAIL 1:100**



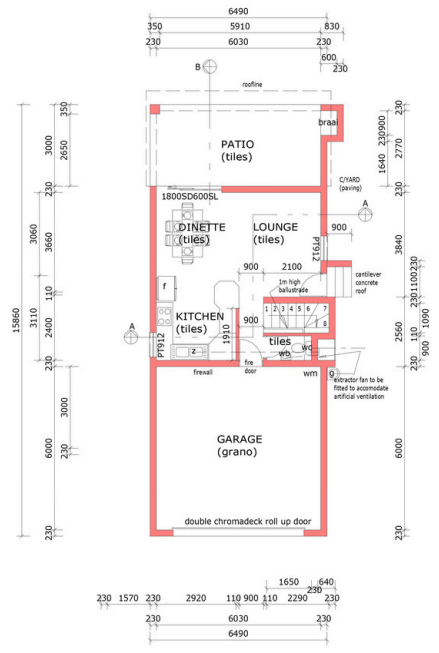
**SOUTH EAST ELEVATION 1:100**



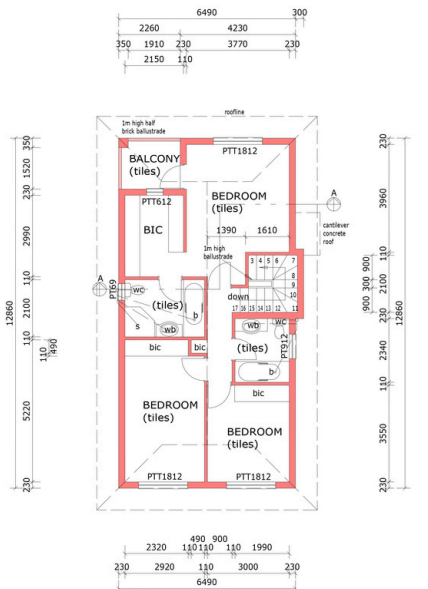
**SOUTH WEST ELEVATION 1:100**



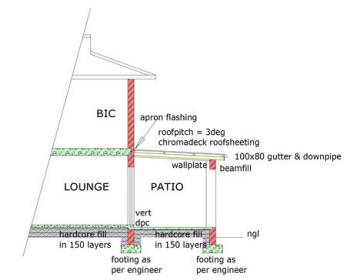
**SECTION A-A 1:100**



**GROUND FLOOR 1:100**



**FIRST FLOOR 1:100**



**SECTION B 1:100**

**TYPE A**  
**FLOOR PLAN**



# TYPE A

## FLOOR PLAN ILLUSTRATION

### TYPE : FREE-STANDING

#### Ground Floor

- Double automated garage
- Single parking
- Lounge (open plan)
- Dining room (open plan)
- Kitchen (open plan)
- Guest toilet
- Patio with build braai
- Fold-up washing line

#### Top Floor

- 3 Bedrooms
- Linen cupboard
- 2 Bathrooms (main en-suite)
- Walk in wardrobe
- Balcony

#### Gardens

- Sectional Title
- Approximately: 60 sqm
- Pet friendly

GROUND FLOOR



FIRST FLOOR













# ***TYPE B***

**228m<sup>2</sup>**

---

**PRICE R2,170,000**

**TRANSFER & BOND COSTS INCL**  
(T&C Apply)



**ERF 2134 CASHAN x34**  
**PROJECT:**  
 NEW TOWNHOUSE COMPLEX FOR  
 RACKLEY PROPERTIES (PTY) LTD

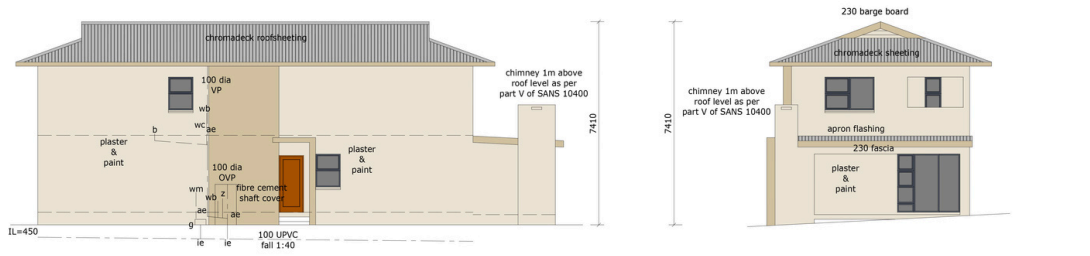
**DESCRIPTION:**  
 WORK DRAWING  
 TYPE B

**DEVELOPMENT DETAILS:**

<b>GROUND FLOOR AREA:</b>	64 m <sup>2</sup>
<b>GARAGE AREA:</b>	40 m <sup>2</sup>
<b>PATIO AREA:</b>	20 m <sup>2</sup>
<b>FIRST FLOOR AREA:</b>	104 m <sup>2</sup>
<b>TOTAL AREA:</b>	228 m <sup>2</sup>

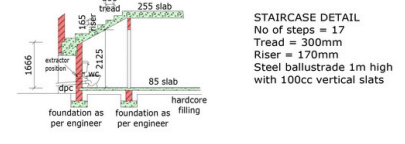
SCALE: 1:100	PROJECT NO: 1479
DESIGN BY: T.H.	DATE: SEP 2022
DRAWN: T.H.	DRAWING NO: 004
CHECKED: T.H.	

**GENERAL NOTES**  
 All dimensions to be checked prior to construction and any discrepancies to be reported to the architect. No scaling.  
 All specifications and work to be in accordance with SANS 10400 and the National Building Regulations Act, 1977.  
 Electrical and Plumbing work done by registered artisans.  
 Floorlevels to be at least 150mm above outside ngl.  
 Vertical dpc to all change in floor levels.  
 No bends or junctions permitted under buildings.  
 All drains under buildings or where less than 150mm below ground level to be in straight runs, encased in concrete with flexible couplings both ends.  
 Minimum fall in soil drains to be 1:40 unless otherwise shown on drawings.  
 All suspended reinforced concrete floor and roof slabs, if specified, to be to a structural design consultant's detail.  
 Finishing to owners choice and satisfaction.  
 All openings exceeding 2.4m span to be spanned by precast concrete lintels.  
 All wastewater pipes to be minimum 50mm diameter.  
**ROOFNOTES (Metal sheeting) - Part L & XA**  
 Chromadeck sheeting isolated on 76x50 SAP purlins at 1000 c/s max. on roof trusses at 1200 c/s max. on 114x38 SAP wallplates properly secured with roofwires.  
 Roofpitch to be 18° with cislulation underlay.  
 Truss construction - Prefabricated trusses  
 All ribs sections to be 114x38 SAP V4 grade.  
 All joints secured by 1x10mm bolt & nut and 3x75mm nails.  
 Engineers certificate to be issued to the Local Authority 7 days prior to erection of trusses.  
**CEILING NOTES - XA**  
 Isolation material on herculite ceiling board nailed to 38x38 SAP bracing at 400mm centres with 76 cover cornice.  
**GLAZING NOTES - Part N & XA**  
 0 - 0.75m<sup>2</sup> 3mm glass  
 1 - 1.5m<sup>2</sup> 4mm glass  
 over 1.5m<sup>2</sup> 6mm glass  
 All sliding doors to be fitted with 6mm shatterproof glass and recognition markers.  
 All first floor windows lower than 500mm from floor and stairwells to be fitted with 6mm safety glazing and burglar bars.  
**GEYSER NOTES - SOLAR TYPE - XA & SANS 0254**  
 Geysers insulated in blanket & hot water pipes insulated for 1m.



**NORTH EAST ELEVATION 1:100**

**NORTH WEST ELEVATION 1:100**

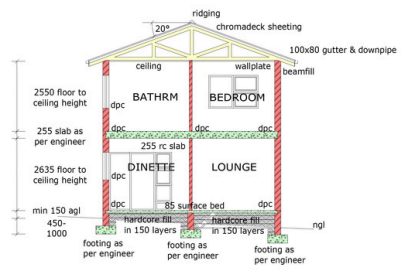


**STAIR DETAIL 1:100**

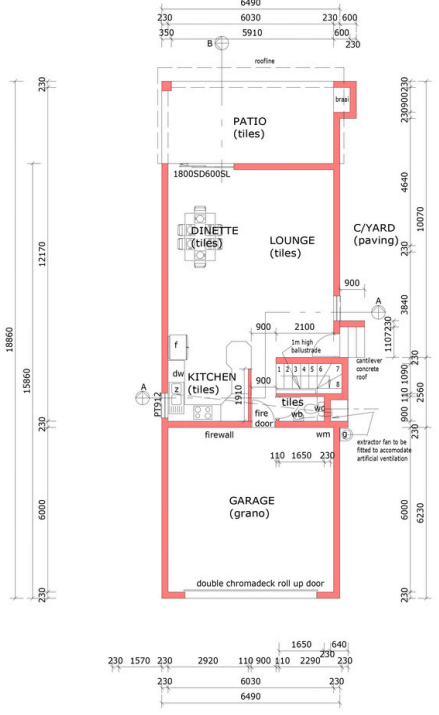


**SOUTH EAST ELEVATION 1:100**

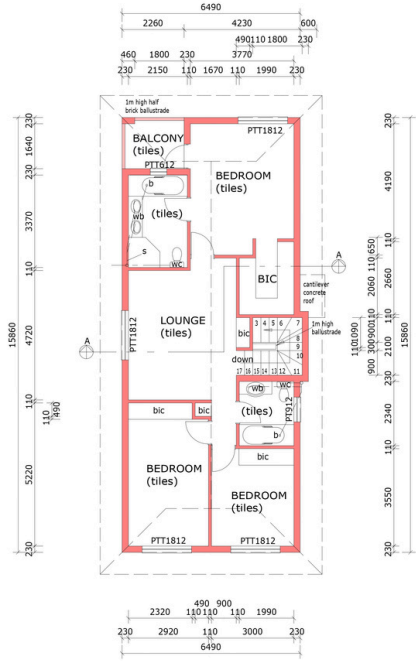
**SOUTH WEST ELEVATION 1:100**



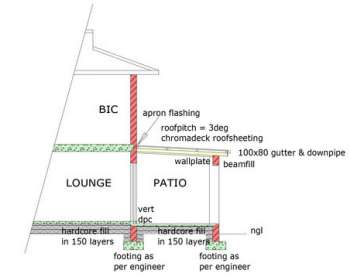
**SECTION A-A 1:100**



**GROUND FLOOR 1:100**



**FIRST FLOOR 1:100**



**SECTION B 1:100**

**TYPE B**  
**FLOOR PLAN**



# TYPE B

## FLOOR PLAN ILLUSTRATION

TYPE : FREE-STANDING

### Ground Floor

- Double automated garage
- Single parking
- Lounge (open plan)
- Dining room (open plan)
- Kitchen (open plan)
- Guest toilet
- Patio with build braai
- Fold-up washing line

### Top Floor

- 3 Bedrooms
- Linen cupboard
- Pajama lounge
- Bookshelves
- 2 Bathrooms (main en-suite)
- Walk in wardrobe
- Balcony

### Gardens

- Sectional Title
- Approximately: 60 sqm
- Pet friendly

GROUND FLOOR



FIRST FLOOR













# ***TYPE C***

**167m<sup>2</sup>**

**PRICE R1,670,000**

**TRANSFER & BOND COSTS INCL**  
(T&C Apply)



**ERF 2134 CASHAN x34**  
**PROJECT:**  
 NEW TOWNHOUSE COMPLEX FOR  
 RACKLEY PROPERTIES (PTY) LTD

**DESCRIPTION:**  
 WORK DRAWING  
 TYPE C

**DEVELOPMENT DETAILS:**

<b>GROUND FLOOR AREA:</b>	46 m <sup>2</sup>
<b>GARAGE AREA:</b>	19 m <sup>2</sup>
<b>PATIO AREA:</b>	13 m <sup>2</sup>
<b>CARPOR AREA:</b>	14 m <sup>2</sup>
<b>FIRST FLOOR AREA:</b>	75 m <sup>2</sup>
<b>TOTAL AREA:</b>	167 m <sup>2</sup>

SCALE: 1:100	PROJECT NO: 1479
DESIGN BY: T.H.	DATE: SEP 2022
DRAWN: T.H.	DRAWING NO: 006
CHECKED: T.H.	

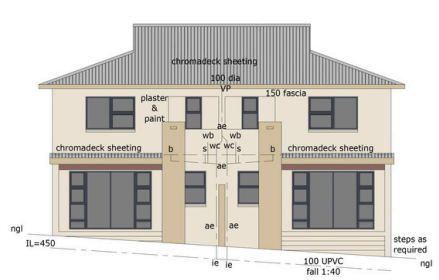
**GENERAL NOTES**  
 All dimensions to be checked prior to construction and any discrepancies to be reported to the architect. No scaling.  
 All specifications and work to be in accordance with SANS 10400 and the National Building Regulations Act, 1977.  
 Electrical and Plumbing work done by registered artisans.  
 Floorlevels to be at least 150mm above outside ngl.  
 Vertical dpc to all change in floor levels.  
 All waste fillings to be fitted with resin traps.  
 No bends or junctions permitted under buildings.  
 All drains under buildings or where less than 150mm below ground level to be in straight runs, encased in concrete with flexible couplings both ends.  
 Minimum fall in soil drains to be 1:40 unless otherwise shown on drawings.  
 All suspended reinforced concrete floor and roof slabs, if specified, to be to a structural design consultant's detail.  
 Finishing to owners choice and satisfaction.  
 All openings exceeding 2.4m span to be spanned by precast concrete lintols.  
 All wastewater pipes to be minimum 50mm diameter.

**ROOFNOTES (Metal sheeting) - Part L & XA**  
 Chromadeck sheeting isolated on 76x50 SAP purlins at 1000 c/c max. on roof trusses at 1200 c/c max. on 114x38 SAP wallplates properly secured with roofwires.  
 Roofpitch to be 16° with insulation underlay.  
 Truss construction - Prefabricated trusses  
 All nb sections to be 114x38 SAP V4 grade.  
 All joints secured by 1x10mm bolt & nut and 3x75mm nails.  
 Engineers certificate to be issued to the Local Authority 7 days prior to erection of trusses.

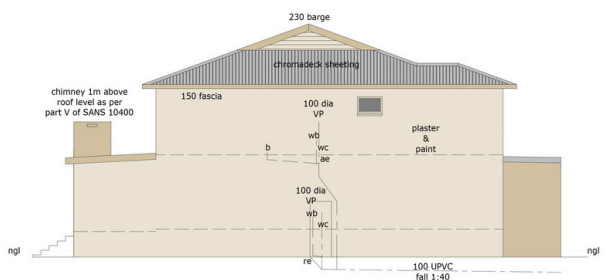
**CEILING NOTES - XA**  
 Isolation material on herculite ceiling board nailed to 38x38 SAP bracing at 400# centres with 76 covered cornice.

**GLAZING NOTES - Part N & XA**  
 0 - 0.75m<sup>2</sup> 3mm glass  
 1 - 1.5m<sup>2</sup> 4mm glass  
 over 1.5m<sup>2</sup> 6mm glass  
 All sliding doors to be fitted with 6mm shatterproof glass and recognition markers.  
 All first floor windows lower than 500mm from floor and stairwells to be fitted with 6mm safety glazing and burglar bars.

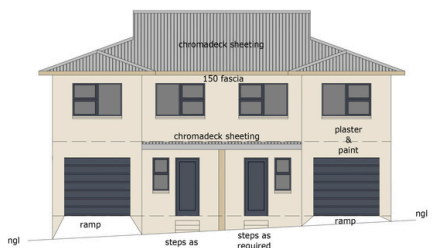
**GEYSER NOTES - SOLAR TYPE - XA & SANS 0254**  
 Geyser insulated in blanket & hot water pipes insulated for 1m.



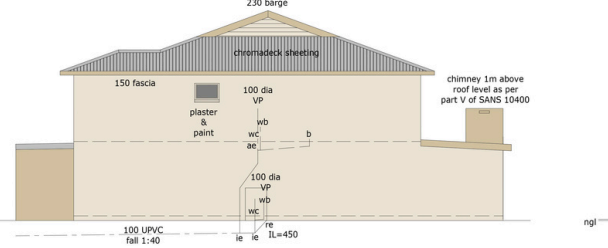
**NORTH WEST ELEVATION 1:100**



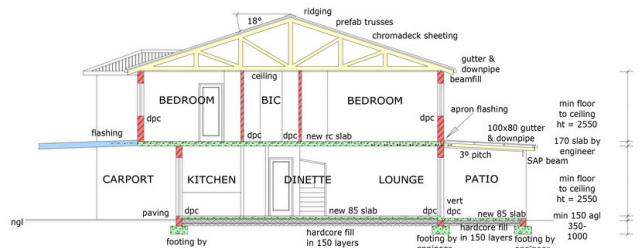
**SOUTH WEST ELEVATION 1:100**



**SOUTH EAST ELEVATION 1:100**

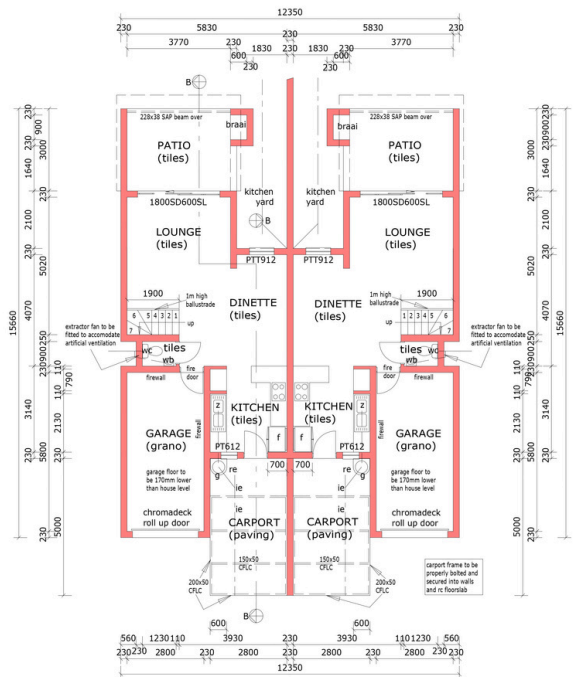


**NORTH EAST ELEVATION 1:100**

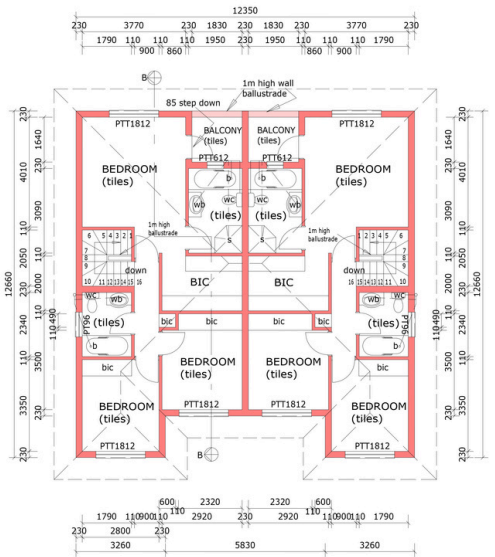


**SECTION A-A 1:100**

**STAIRCASE DETAIL 1:100**  
 No of steps = 16  
 Tread = 300mm  
 Riser = 170mm  
 Steel balustrade 1m high with 100cc vertical slats



**GROUND FLOOR 1:100**



**FIRST FLOOR 1:100**

**TYPE C**  
**FLOOR PLAN**



# TYPE C

## FLOOR PLAN ILLUSTRATION

TYPE : SEMI-DETACHED

### Ground Floor

- Single automated garage
- Single carport
- Lounge (semi open plan)
- Dining room (open plan)
- Kitchen (open plan)
- Guest toilet
- Patio with build braai
- Fold-up washing line
- Kitchen yard

### Top Floor

- 3 Bedrooms
- Linen cupboard
- 2 Bathrooms (main en-suite)
- Walk in wardrobe
- Balcony

### Gardens

- Sectional Title
- Approximately: 60 sqm
- Pet friendly

GROUND FLOOR



FIRST FLOOR













SOLD OUT



*YOUR*  
**Development Agent**

*Get in touch Today!*



NATALIE JACOBS



076 932 7250



natalie@meridianrealty.co.za



www.meridianrealty.co.za

*Registered with the PPRA*



meridian<sup>®</sup>  
REALTY

