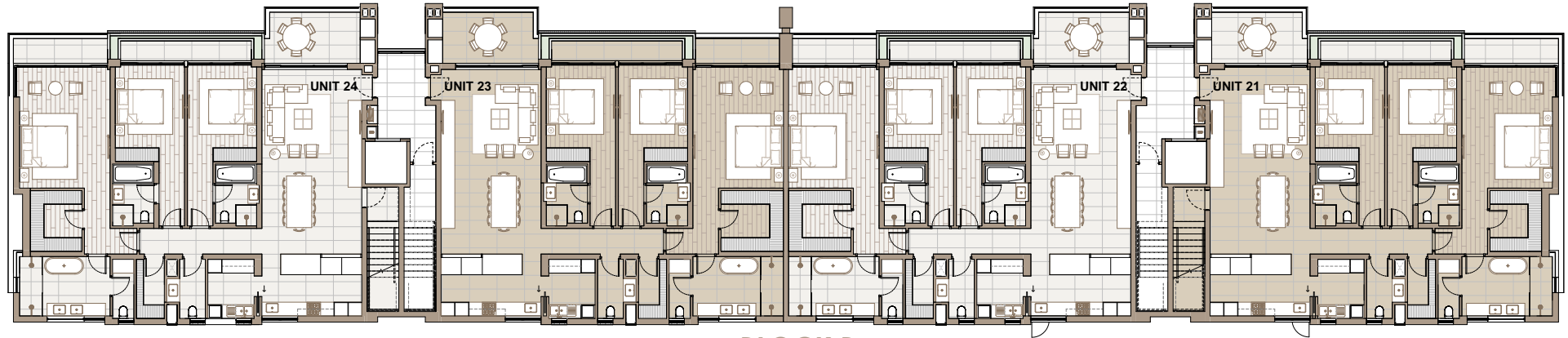


BLOCK A



BLOCK B

SECOND FLOOR

CLEARSTONE
PROPERTIES

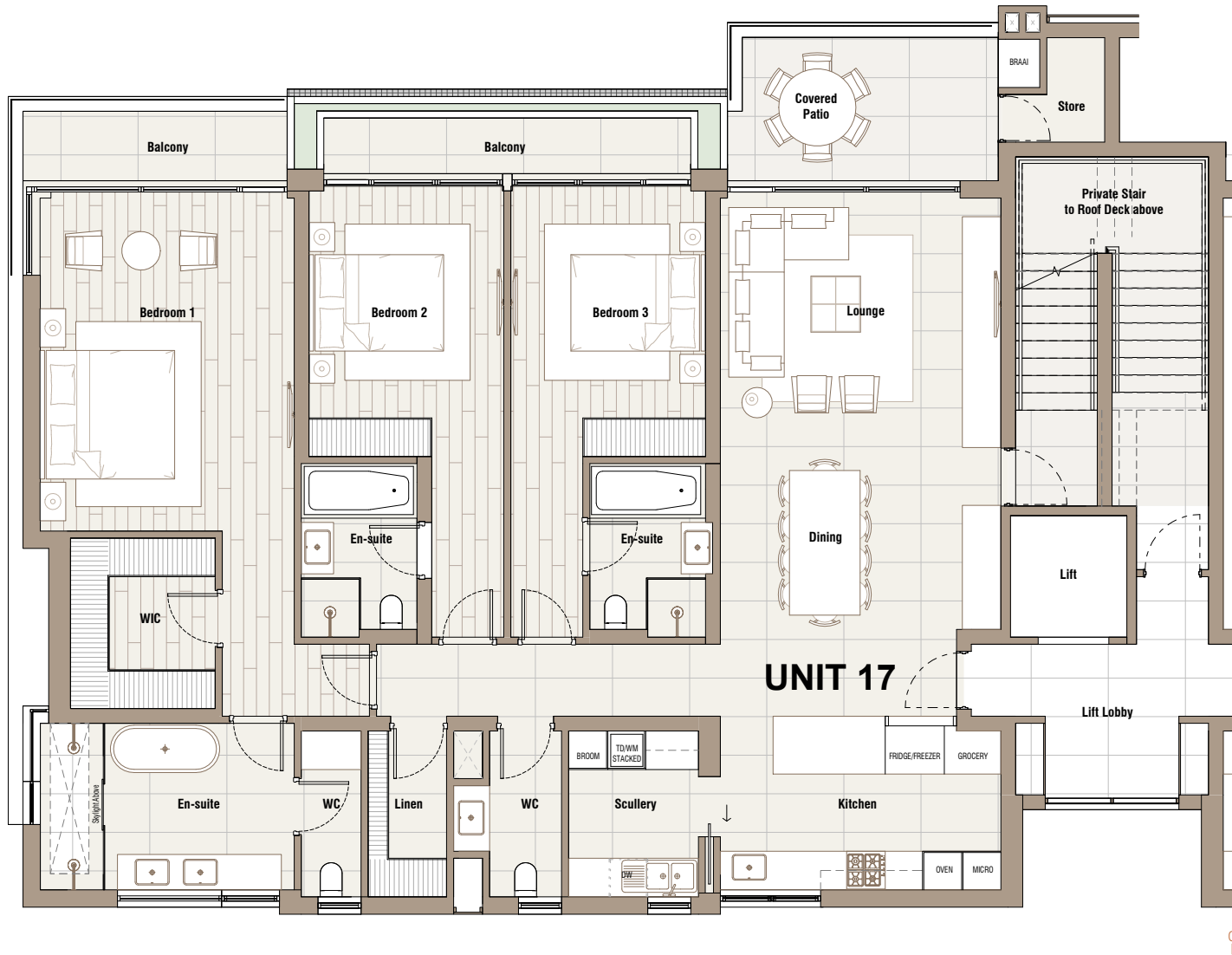
**JULIAN
KATZ**
ARCHITECT

082 445 1071

DATE: 17-11-2023

011 728 0198 083 250 3379

All information and marketing material have been prepared in good faith. Every effort has been made to ensure the accuracy thereof. The developer is not liable for any inadvertent errors or omissions in the material. Please note that the floor plan indicated on the material is a guide only and was prepared prior to completion of the development, and that the floor plan is believed to be correct at the time of preparation but is not guaranteed. Changes may be made during development and the floor plan is subject to change without notice at any time in accordance with product development and provisions of the contract of sale. Descriptions, information, and images are provided as guides only. Furniture and other interior decorations depicted are not included in any sale but are included for illustrative purposes only. Prospective purchasers should make their own enquiries in relation to the property sold.

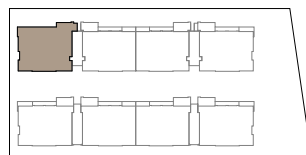


CLEARSTONE
PROPERTIES

082 445 1071

**JULIAN
KATZ**
ARCHITECT

011 728 0198 083 250 3379



LOCALITY PLAN

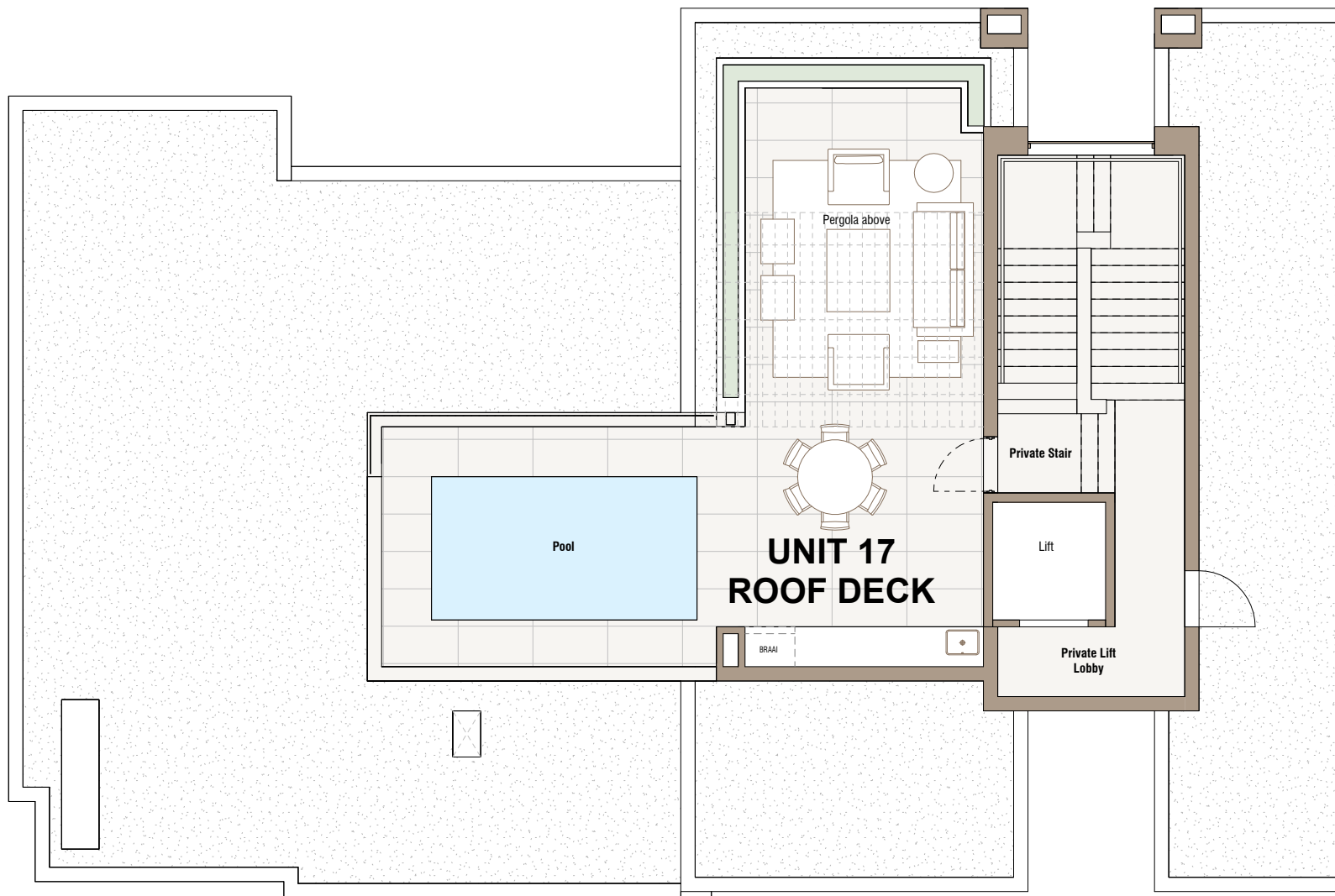


| | |
|----------------------------|-------------------|
| APARTMENT | 197m ² |
| ROOF DECK | 64m ² |
| PRIVATE STAIR & LIFT LOBBY | 32m ² |
| SUB-TOTAL: | 293m ² |
| PRIVATE BASEMENT STORE | 19m ² |
| DOUBLE PARKING BAY | 25m ² |
| TOTAL: | 337m ² |

3 BEDROOMS
3 ENSUITE BATHROOMS
2 BALCONIES
COVERED PATIO
ROOF DECK
&
POOL

UNIT No.
A-17
SECOND FLOOR

DATE: 17-11-2023

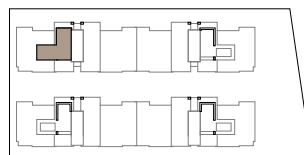


CLEARSTONE
PROPERTIES

082 445 1071

**JULIAN
KATZ**
ARCHITECT

011 728 0198 083 250 3379



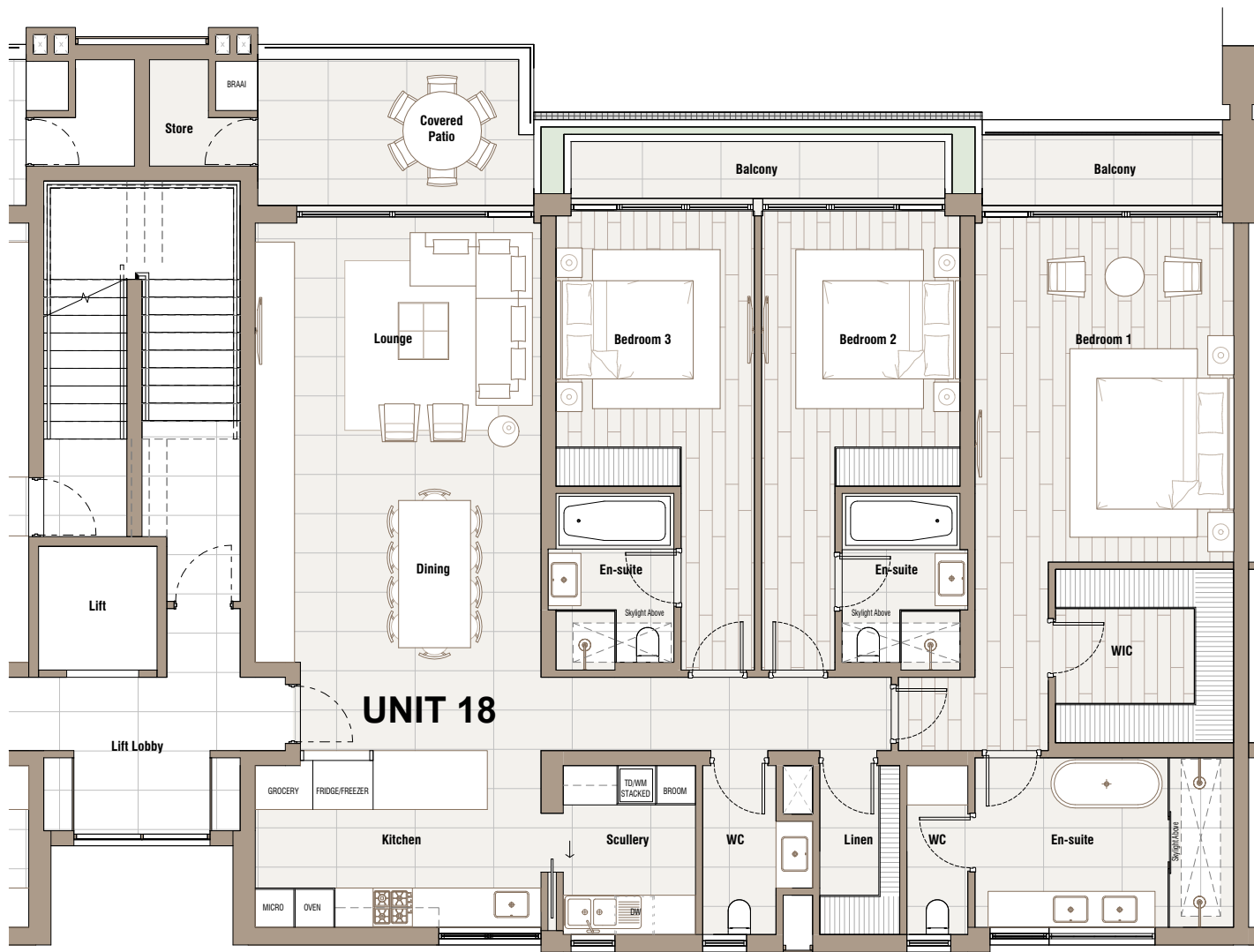
LOCALITY PLAN

| | |
|------------------------------|-------------------|
| APARTMENT | 197m ² |
| ROOF DECK | 64m ² |
| PRIVATE STAIR & LIFT LOBBY | 32m ² |
| SUB-TOTAL: 293m ² | |
| PRIVATE BASEMENT STORE | 19m ² |
| DOUBLE PARKING BAY | 25m ² |
| TOTAL: 337m ² | |

3 BEDROOMS
3 ENSUITE BATHROOMS
2 BALCONIES
COVERED PATIO
ROOF DECK
&
POOL

UNIT No.
A-17
THIRD FLOOR
ROOF DECK
DATE: 17-11-2023

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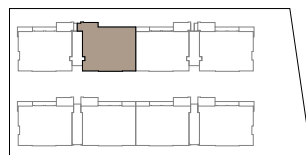


CLEARSTONE
PROPERTIES

082 445 1071

**JULIAN
KATZ**
ARCHITECT

011 728 0198 083 250 3379



LOCALITY PLAN



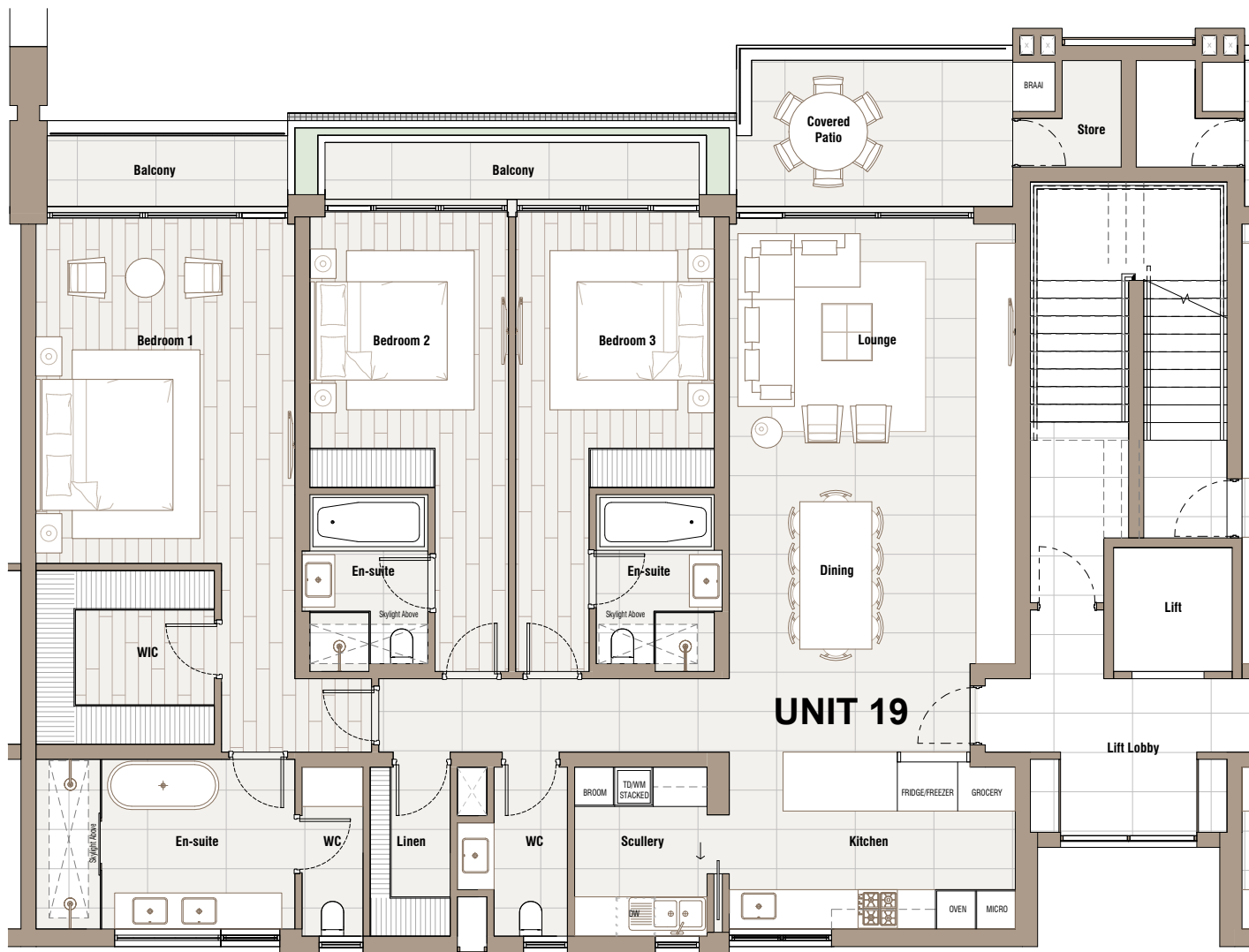
APARTMENT 195m²
PRIVATE BASEMENT STORE 14m²
DOUBLE PARKING BAY 25m²
TOTAL: 234m²

3 BEDROOMS
3 ENSUITE BATHROOMS
2 BALCONIES
COVERED PATIO

UNIT No.
A-18
SECOND FLOOR

DATE: 17-11-2023

All information and marketing material have been prepared in good faith. Every effort has been made to ensure the accuracy thereof. The developer is not liable for any inadvertent errors or omissions in the material. Please note that the floor plan indicated on the material is a guide only and was prepared prior to completion of the development, and that the floor plan is believed to be correct at the time of preparation but is not guaranteed. Changes may be made during development and the floor plan is subject to change without notice at any time in accordance with product development and provisions of the contract of sale. Descriptions, information, and images are provided as guides only. Furniture and other interior decorations depicted are not included in any sale but are included for illustrative purposes only. Prospective purchasers should make their own enquiries in relation to the property sold.

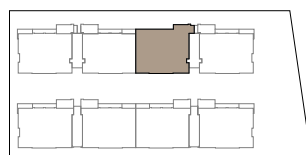


CLEARSTONE
PROPERTIES

082 445 1071

**JULIAN
KATZ**
ARCHITECT

011 728 0198 083 250 3379



LOCALITY PLAN



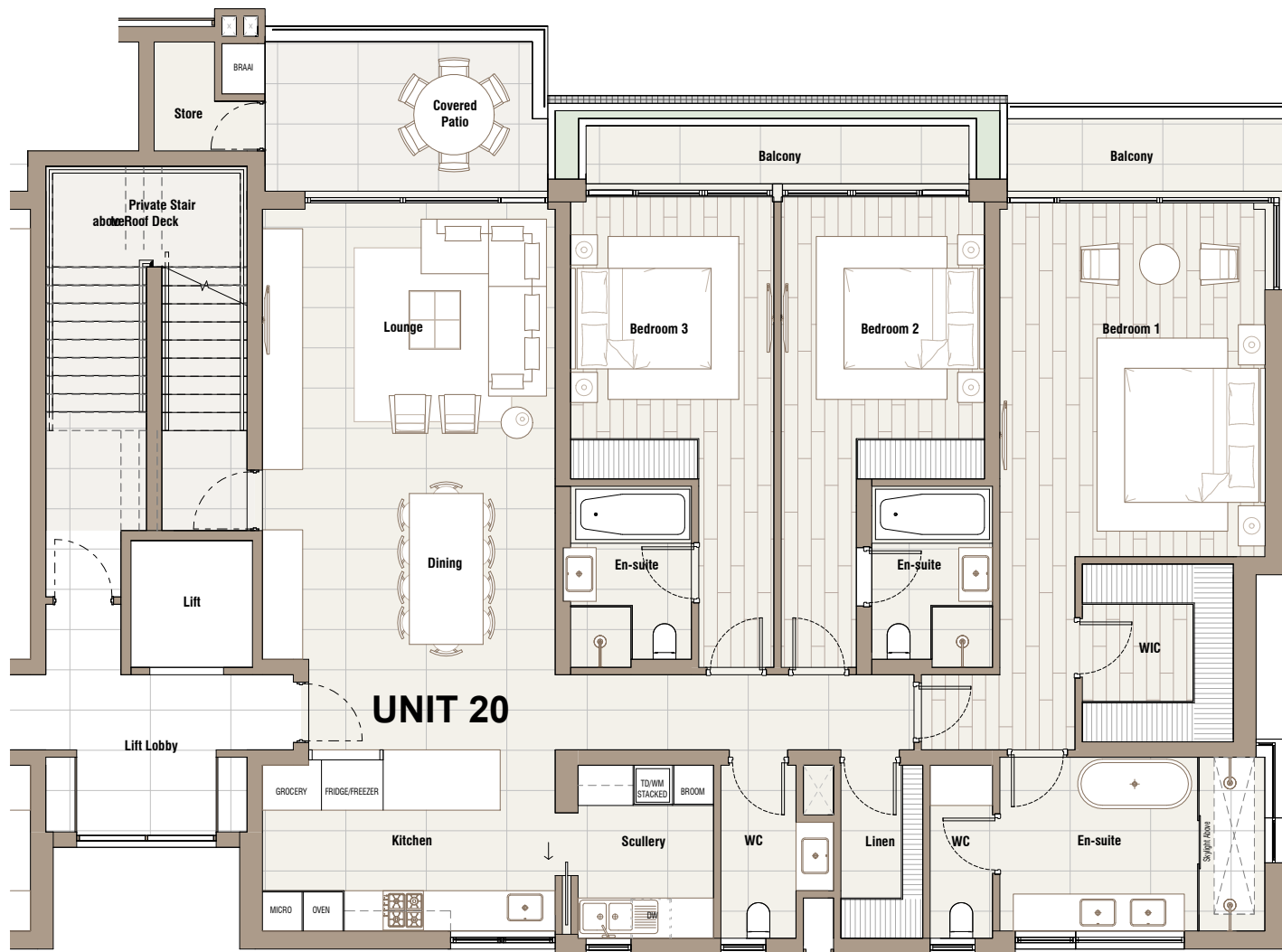
APARTMENT 195m²
PRIVATE BASEMENT STORE 14m²
DOUBLE PARKING BAY 25m²
TOTAL: 234m²

3 BEDROOMS
3 ENSUITE BATHROOMS
2 BALCONIES
COVERED PATIO

UNIT No.
A-19
SECOND FLOOR

DATE: 17-11-2023

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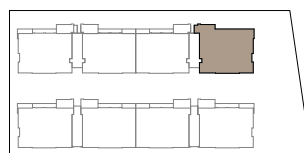


UNIT 20



CLEARSTONE
PROPERTIES

**JULIAN
KATZ
ARCHITECT**



LOCALITY PLAN

| | |
|----------------------------|-------------------------|
| APARTMENT | 197m ² |
| ROOF DECK | 64m ² |
| PRIVATE STAIR & LIFT LOBBY | 32m ² |
| SUB-TOTAL: | 293m ² |
| PRIVATE BASEMENT STORE | 15m ² |
| DOUBLE PARKING BAY | 25m ² |
| TOTAL: | 333m² |

3 BEDROOMS
3 ENSUITE BATHROOMS
2 BALCONIES
COVERED PATIO
ROOF DECK
&
POOL

UNIT No.
A-20
SECOND FLOOR

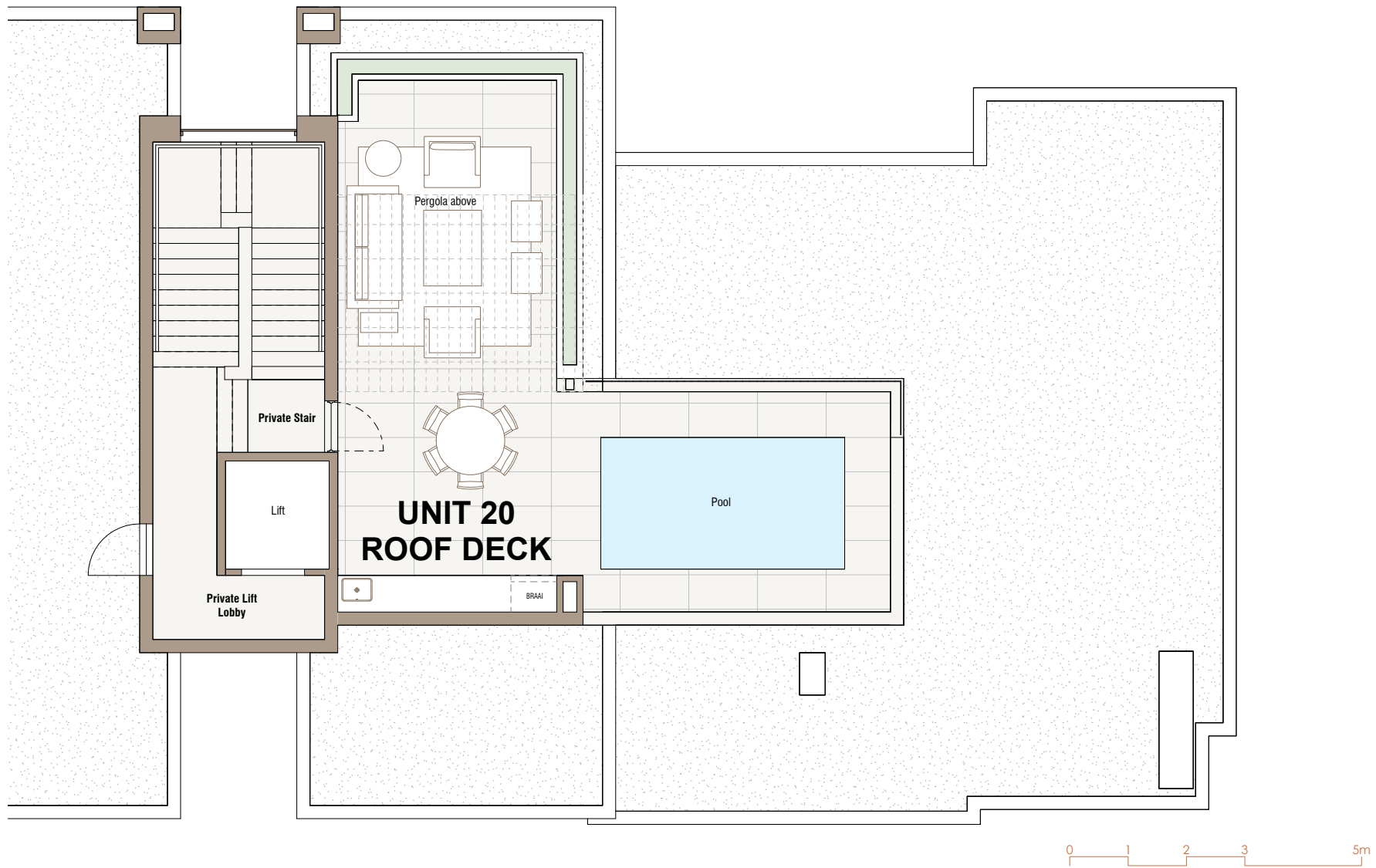
DATE: 17-11-2023

082 445 1071

011 728 0198

083 250 3379

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CLEARSTONE
PROPERTIES

082 445 1071

**JULIAN
KATZ**
ARCHITECT

011 728 0198 083 250 3379



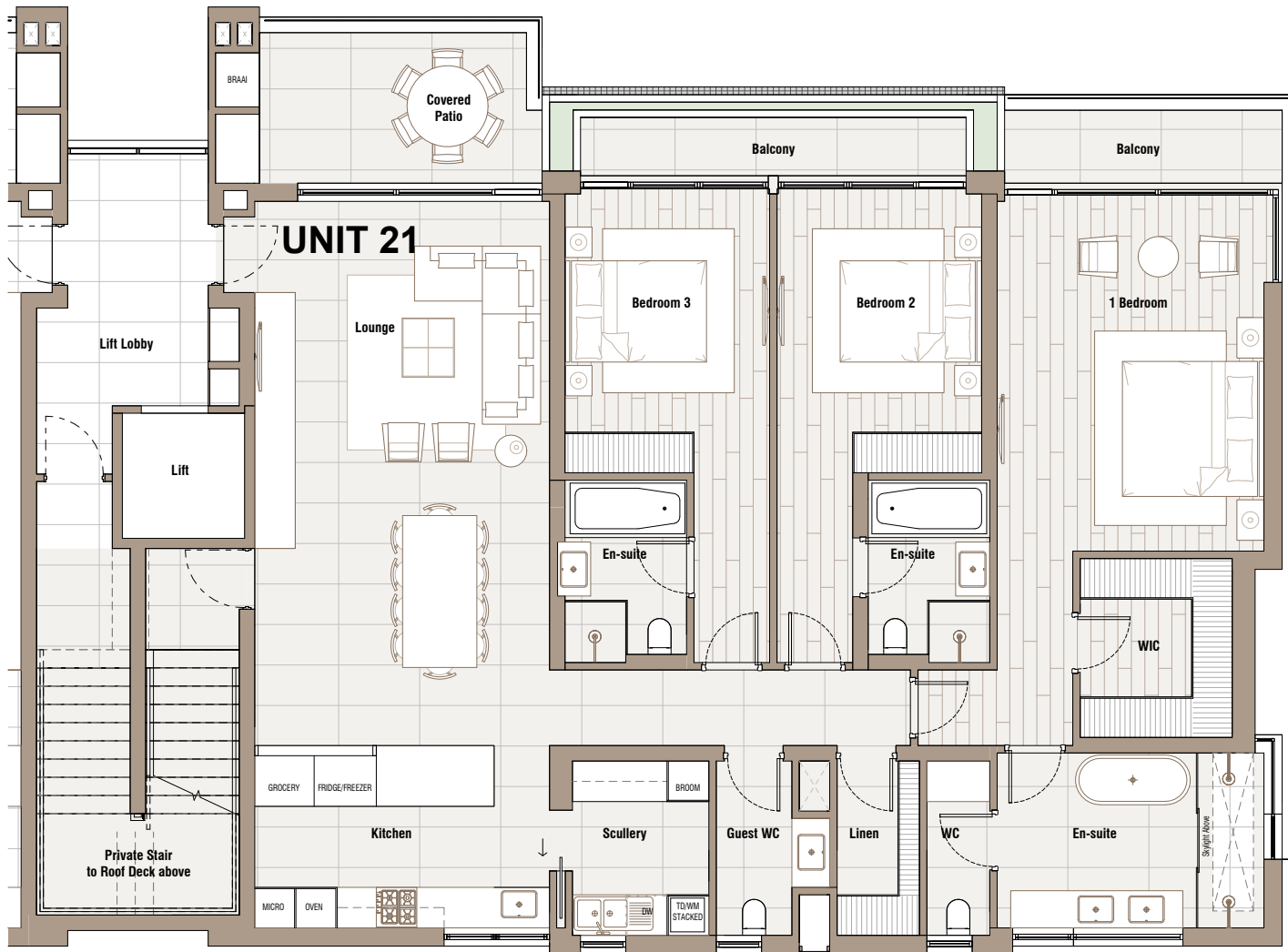
LOCALITY PLAN

| | |
|------------------------------|-------------------|
| APARTMENT | 197m ² |
| ROOF DECK | 64m ² |
| PRIVATE STAIR & LIFT LOBBY | 32m ² |
| SUB-TOTAL: 293m ² | |
| PRIVATE BASEMENT STORE | 15m ² |
| DOUBLE PARKING BAY | 25m ² |
| TOTAL: 333m ² | |

3 BEDROOMS
3 ENSUITE BATHROOMS
2 BALCONIES
COVERED PATIO
ROOF DECK
&
POOL

UNIT No.
A-20
THIRD FLOOR
ROOF DECK
DATE: 17-11-2023

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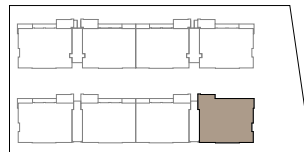


CLEARSTONE
PROPERTIES

082 445 1071

**JULIAN
KATZ**
ARCHITECT

011 728 0198 083 250 3379



LOCALITY PLAN



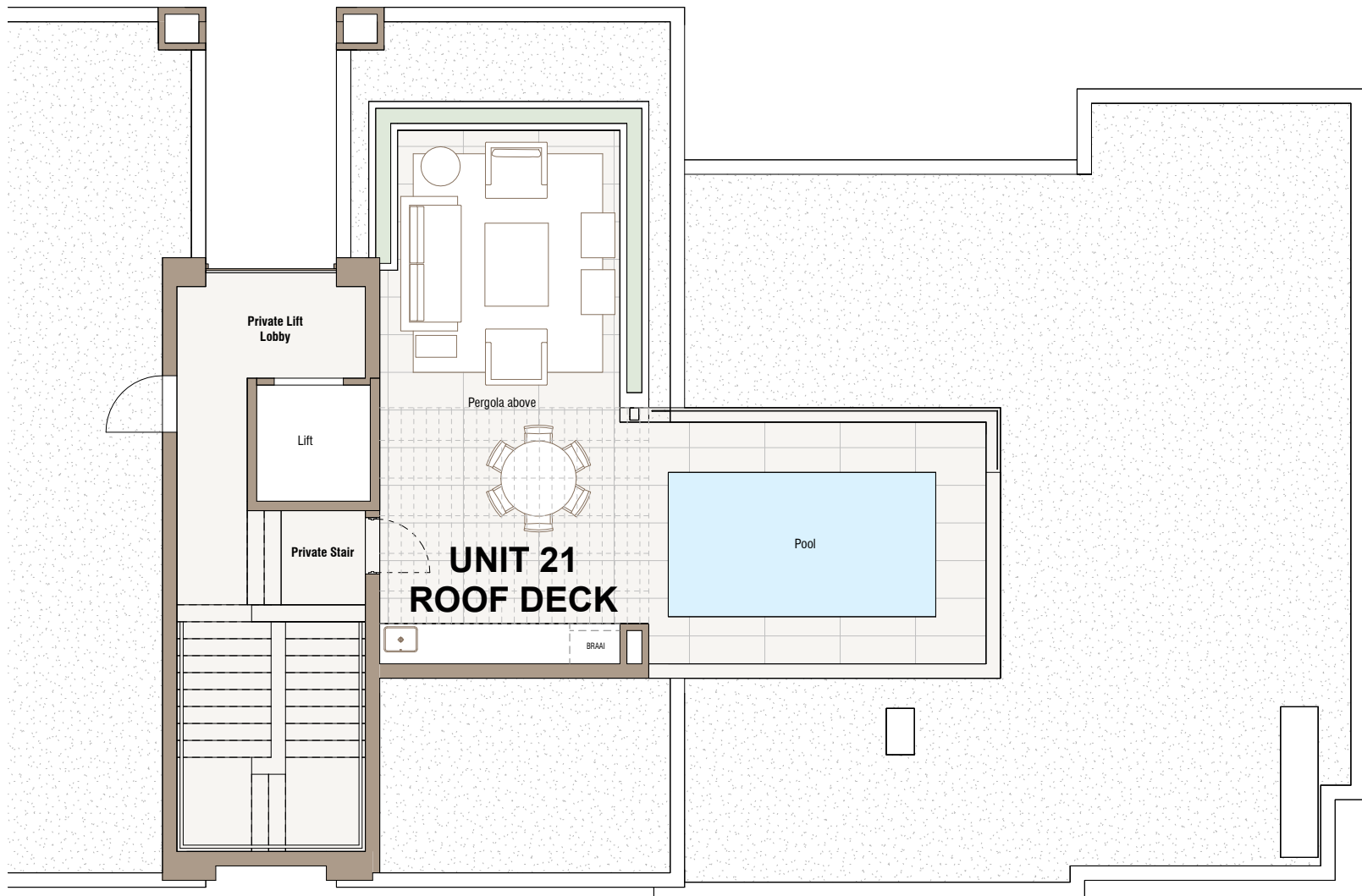
| | |
|----------------------------|-------------------|
| APARTMENT | 195m ² |
| ROOF DECK | 64m ² |
| PRIVATE STAIR & LIFT LOBBY | 34m ² |
| SUB-TOTAL: | 293m ² |
| PRIVATE BASEMENT STORE | 12m ² |
| DOUBLE PARKING BAY | 25m ² |
| TOTAL: | 330m ² |

3 BEDROOMS
3 ENSUITE BATHROOMS
2 BALCONIES
COVERED PATIO
ROOF DECK
&
POOL

UNIT No.
A-21
SECOND FLOOR

DATE: 17-11-2023

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CLEARSTONE
PROPERTIES

082 445 1071

**JULIAN
KATZ**
ARCHITECT

011 728 0198 083 250 3379



LOCALITY PLAN

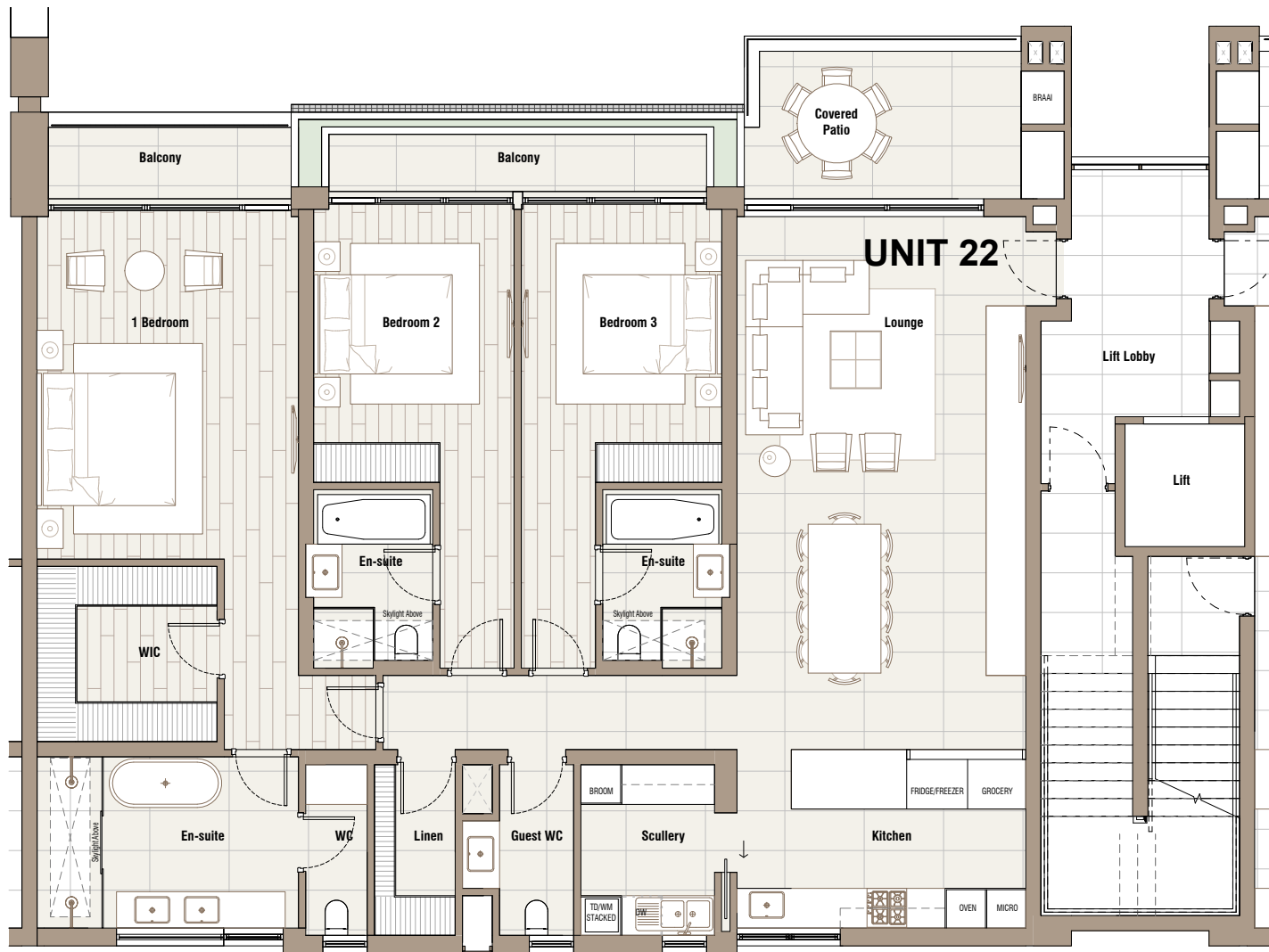


| | |
|------------------------------|-------------------|
| APARTMENT | 165m ² |
| ROOF DECK | 64m ² |
| PRIVATE STAIR & LIFT LOBBY | 34m ² |
| SUB-TOTAL: 293m ² | |
| PRIVATE BASEMENT STORE | 12m ² |
| DOUBLE PARKING BAY | 25m ² |
| TOTAL: 330m ² | |

3 BEDROOMS
3 ENSUITE BATHROOMS
2 BALCONIES
COVERED PATIO
ROOF DECK
&
POOL

UNIT No.
A-21
THIRD FLOOR
ROOF DECK
DATE: 17-11-2023

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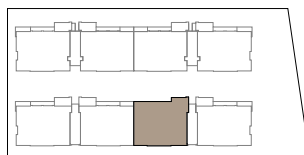


CLEARSTONE
PROPERTIES

082 445 1071

**JULIAN
KATZ**
ARCHITECT

011 728 0198 083 250 3379



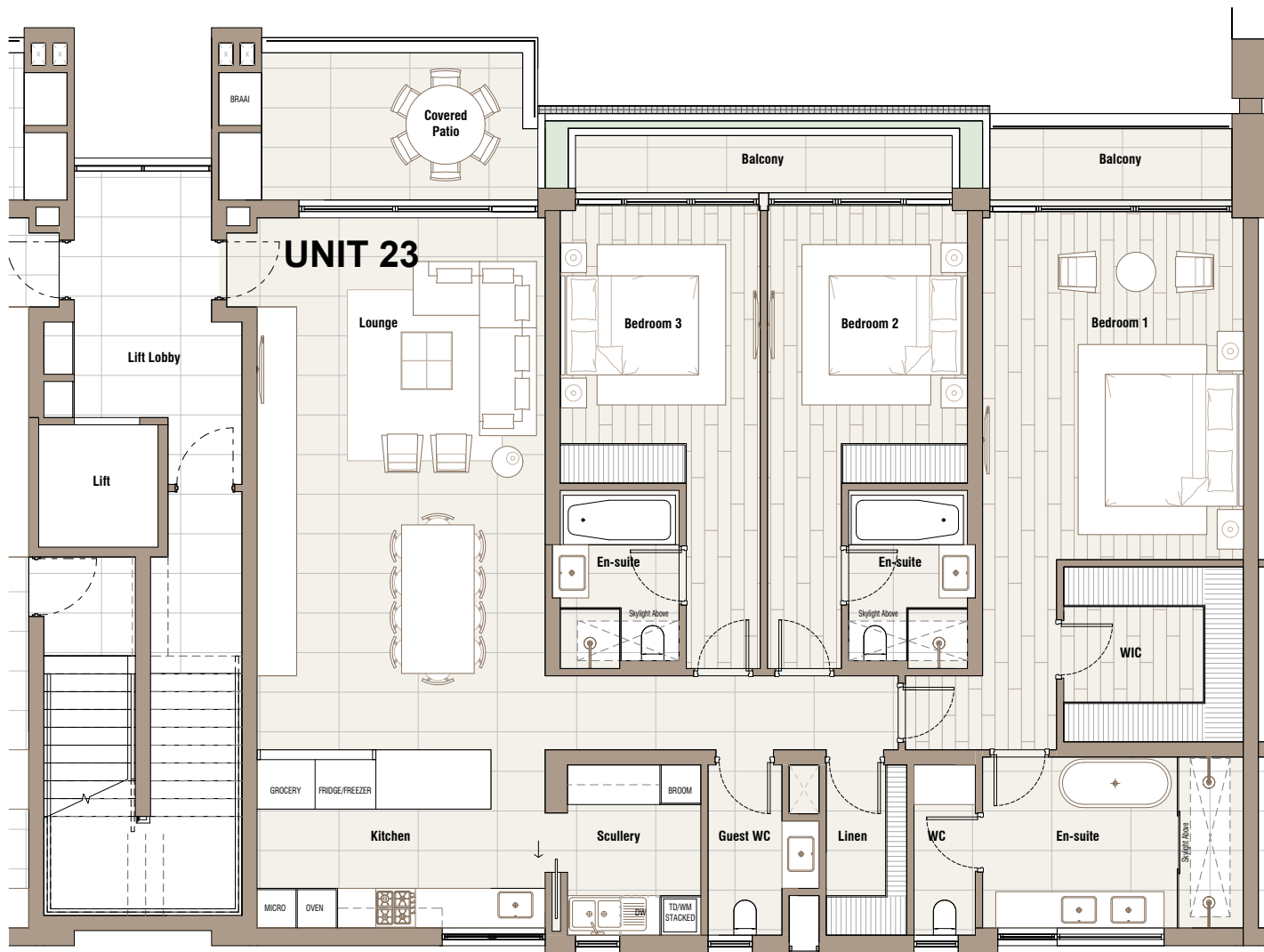
LOCALITY PLAN

| | |
|------------------------|-------------------------|
| APARTMENT | 195m ² |
| PRIVATE BASEMENT STORE | 12m ² |
| DOUBLE PARKING BAY | 25m ² |
| TOTAL: | 232m² |

3 BEDROOMS
3 ENSUITE BATHROOMS
2 BALCONIES
COVERED PATIO

UNIT No.
A-22
SECOND FLOOR

DATE: 17-11-2023

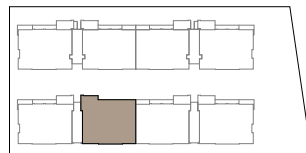


CLEARSTONE
PROPERTIES

082 445 1071

**JULIAN
KATZ**
ARCHITECT

011 728 0198 083 250 3379



LOCALITY PLAN



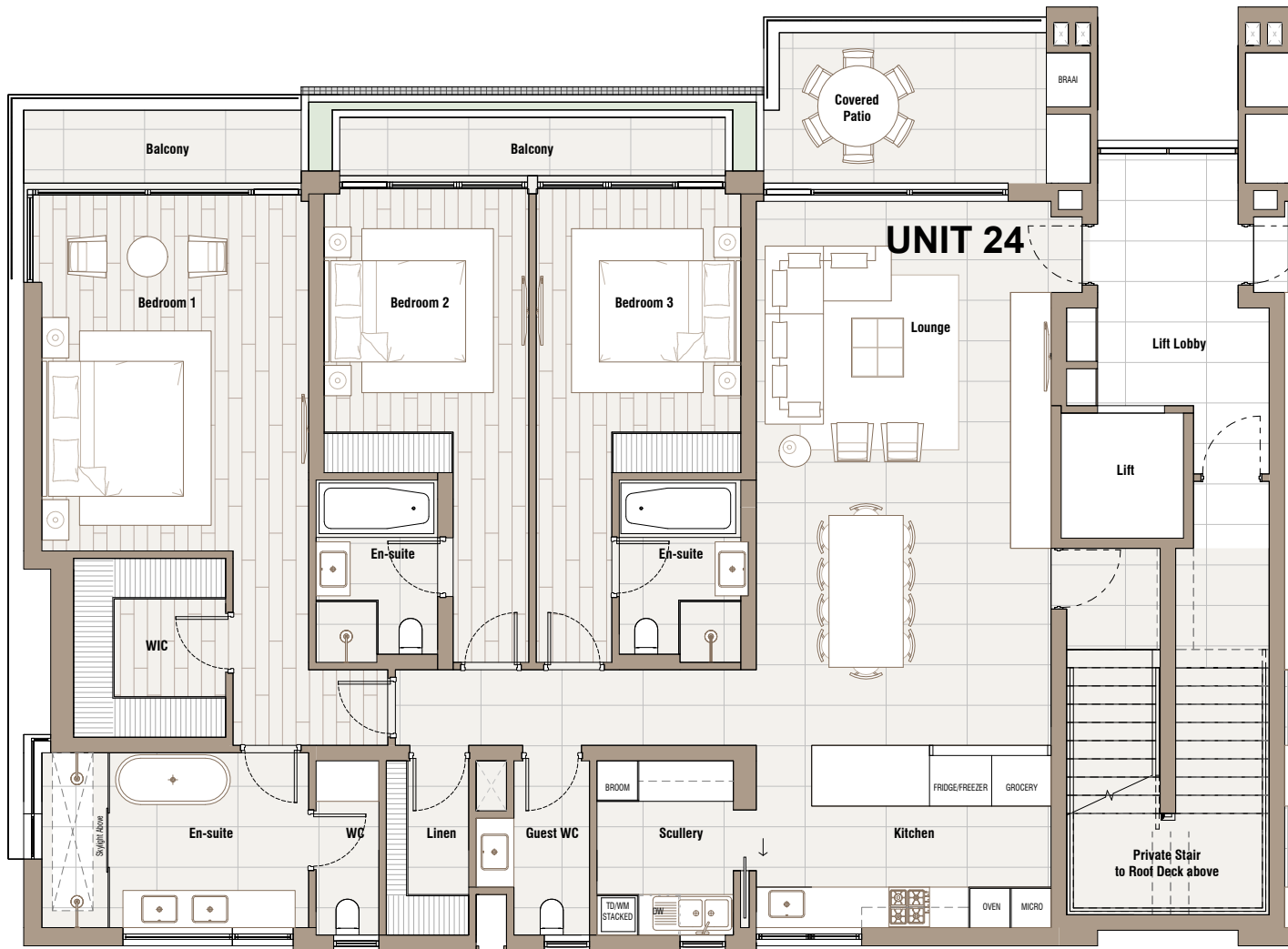
APARTMENT 195m²
PRIVATE BASEMENT STORE 14m²
DOUBLE PARKING BAY 25m²
TOTAL: 234m²

3 BEDROOMS
3 ENSUITE BATHROOMS
2 BALCONIES
COVERED PATIO

UNIT No.
A-23
SECOND FLOOR

DATE: 17-11-2023

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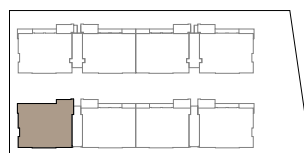


CLEARSTONE
PROPERTIES

082 445 1071

**JULIAN
KATZ**
ARCHITECT

011 728 0198 083 250 3379



LOCALITY PLAN



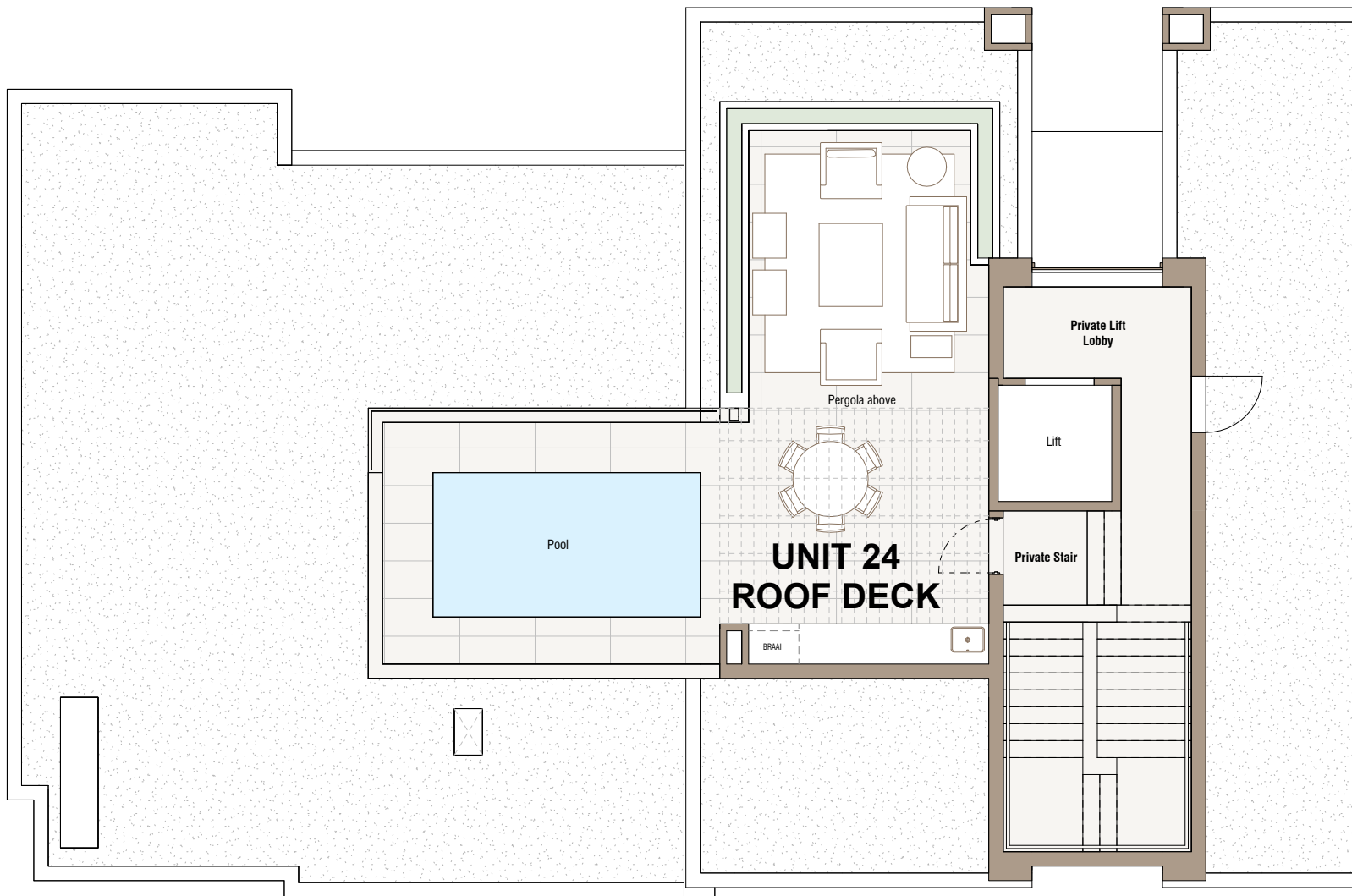
| | |
|----------------------------|-------------------|
| APARTMENT | 195m ² |
| ROOF DECK | 64m ² |
| PRIVATE STAIR & LIFT LOBBY | 34m ² |
| SUB-TOTAL: | 293m ² |
| PRIVATE BASEMENT STORE | 19m ² |
| DOUBLE PARKING BAY | 25m ² |
| TOTAL: | 337m ² |

3 BEDROOMS
3 ENSUITE BATHROOMS
2 BALCONIES
COVERED PATIO
ROOF DECK
&
POOL

UNIT No.
A-24
SECOND FLOOR

DATE: 17-11-2023

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CLEARSTONE
PROPERTIES

082 445 1071

**JULIAN
KATZ**
ARCHITECT

011 728 0198 083 250 3379



LOCALITY PLAN



| | |
|------------------------------|-------------------|
| APARTMENT | 195m ² |
| ROOF DECK | 64m ² |
| PRIVATE STAIR & LIFT LOBBY | 34m ² |
| SUB-TOTAL: 293m ² | |
| PRIVATE BASEMENT STORE | 19m ² |
| DOUBLE PARKING BAY | 25m ² |
| TOTAL: 337m ² | |

3 BEDROOMS
3 ENSUITE BATHROOMS
2 BALCONIES
COVERED PATIO
ROOF DECK
&
POOL

UNIT No.
A-24
THIRD FLOOR
ROOF DECK
DATE: 17-11-2023