

THE CLASSIC COLLECTION



SOMERSET WEST | WESTERN CAPE | SOUTH AFRICA





# ESTATE THAT AN **EXEMPLIFIES** **SECURE** **LIFESTYLE** LIVING

**Quality & Modern situated in picturesque Somerset West...**

First time home buyers, young couples, small families or rental investors – The Huntsman in Somerset West will add lasting value to your lives. Besides quality apartments with eco-friendly appliances, WiFi and cutting-edge

24/7 security, you'll enjoy The Huntsman's proximity to shopping centres, schools and other convenient amenities. With a host of outdoor leisure and entertainment facilities, It's modern living at its best.





# MODERN **SPLENDOR** THAT **INSPIRES**



**When you find a residence that feels right, you just know it. When you enter The Huntsman you instantly appreciate the tranquility of nature with the comforts of modern-day.**

The Lifestyle Centre is for residents use and brings a touch of luxury to town with exclusive facilities to create a welcome oasis for rest and recreation.









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# SPLENDIDLY SITUATED AT THE HEART OF IT ALL

If you fancy some fresh air then you are spoilt for choice with Strand, Somerset West and Stellenbosch all in close proximity as well as the Helderberg Nature Reserve and Jonkershoek Nature Reserve close to the estate!

If the beach is more your thing then the wonderful Strand Beach is just minutes drive away. For a day of adventure the beautiful Helderberg Farm, Fives Eersterivier and Strawberry Safari is not far away from The Huntsman or if you want to shop till you drop then there is

an incredible variety of shopping centers in the area, Blaauwklippen Market and Lourensford Wine Estate & Market are all close by.

With great restaurants such as Avontuur Restaurant, Thirsty Scarecrow, Cavalli Estate and La Pineta Restaurant being on your doorstep as well as other numerous coffee shops and markets just minutes away - The Huntsman really is an entertainment seeker's dream.





# EXPLORE AT YOUR **LEISURE**

With an area so rich in character, it's hardly surprising to discover there's a wealth of attractions nearby.





**Within just a short drive from The Huntsman, there's plenty to choose from, catering for everyone's needs.**

- 🌿 Strawberry Safari - Mooiberge Farmstall
- 🌿 Helderberg Farm
- 🌿 Helderberg Hiking
- 🌿 Jonkershoek Nature Reserve
- 🌿 Blaauwklippen Market

- 🌿 Avontuur Restaurant
- 🌿 Thirsty Scarecrow
- 🌿 La Pineta Restaurant
- 🌿 Stellenbosch Golf Club



# SEAMLESS LOCATION

**Close to sea, vlei and mountains, The Huntsman, is set in beautiful natural surrounds.**

Situated along the M9 near the N2 on/off ramps, Strand Beach within 8.7km, Stellenbosch and the Winelands is a short 18km away and the Cape Town International Airport is easily accessible via a 20minute drive on the N2, these are all on The Huntsman's doorstep.

The Huntsman has seen a major increase in development in the last few years and has become a popular mixed-use node in the beautiful Helderberg basin - surrounded by sea, mountains and vineyards. Within the Somerset West area, there are a number of smaller precincts.





# THE SCIENCE OF WELL BEING





**With wellness at its core, The Huntsman state-of-the-art club offers you the best in fitness and rejuvenation. Keep your body, mind and spirit in balance all day.**

Immerse in clear, pristine beauty and float in the pool of serenity, unwind and relax with fitness with the Training Science Gym and Padel Court. Our outdoor and indoor activities give you an engaging environment

where the mind and body can unravel life's mysteries, you can escape with walk in the development gardens and your children get the time to interact in the children's play area.





# Little Hill

MONTESSORI

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THE HUNTSMAN





**LittleHills Montessori  
The Huntsman is a  
proudly South African  
private Early Childhood  
Development Facility which  
accommodates toddlers  
from 18 months to 3 years  
and preschool from 3-6  
years.**

LittleHill Montessori has been founded on a single precept: to holistically provide children with a nurturing environment that caters to their developmental needs.

Bright, airy, inviting classrooms, and the freedom to move from the indoor environment to the outdoors,

are all carefully structured methods that all work seamlessly together to foster greater learning.

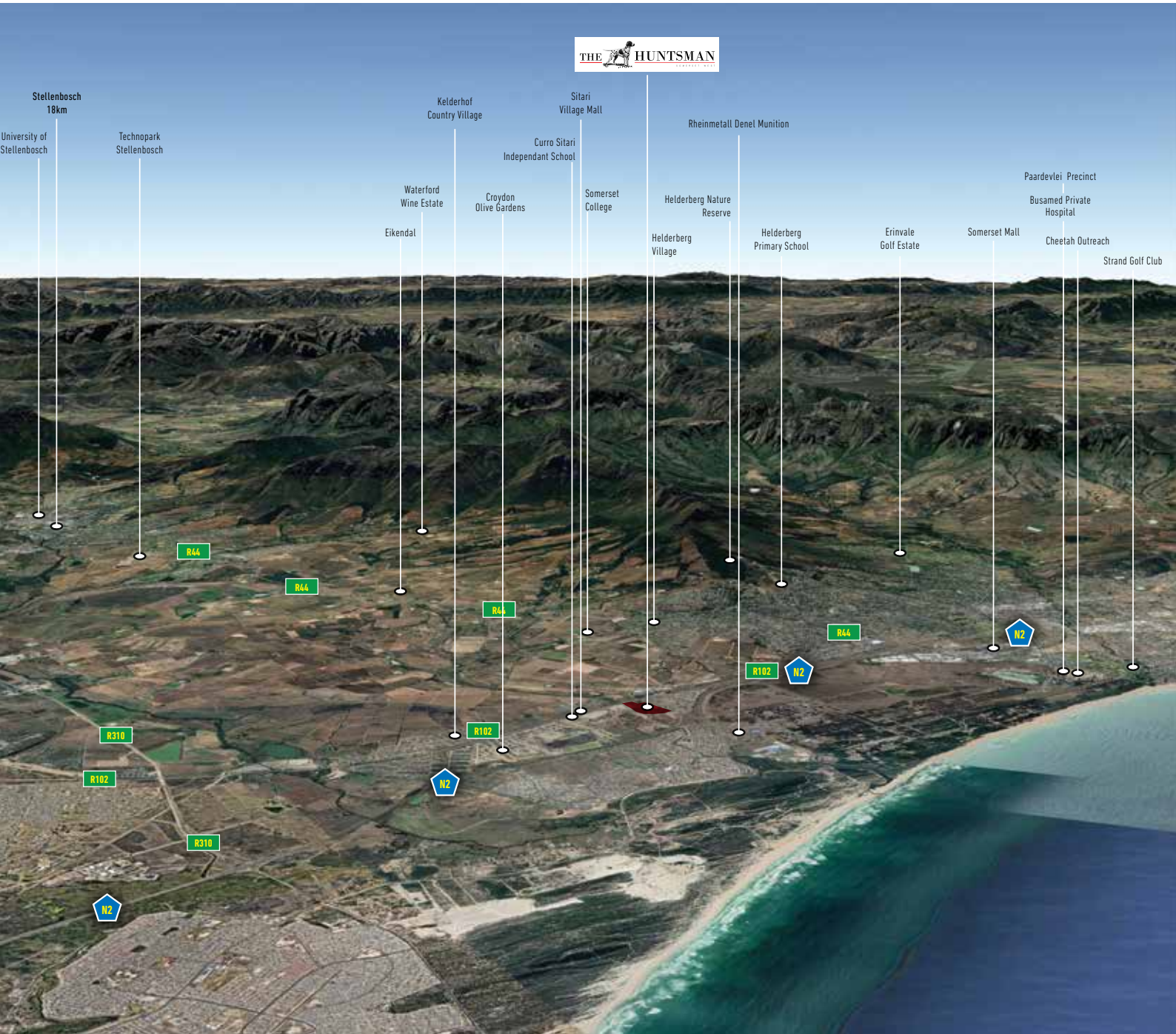
All this, in a safe and secure setting, with qualified teachers who place the focus on every child's developmental needs foremost.





# THE LOCATION

# THE PLACE TO BE









# SITE DEVELOPMENT PLAN



REVISION 12







# WHERE **CRAFTSMANSHIP** TAKES CENTRE **STAGE**

The Huntsman is beautifully designed, pet-friendly estate that offers a choice of 1, 2 and 3-bedroom apartments.

The apartments are designed to provide maximum flexibility for internal space planning to suit individual tastes. Your entire world is built on detail.

The modern apartments have WiFi and DSTV ready and include kitchen appliances, and prepaid utility meters (water and electricity).



# SEAMLESSLY DESIGNED TO BE **EXCEPTIONAL**



## GENERAL

- ✔ All Floors Tiled
- ✔ Painted Ceiling
- ✔ Aluminium Windows
- ✔ Cornices - as per Show Unit
- ✔ Aluminium Sliding Doors
- ✔ Hollowcore Doors with Painted Frames
- ✔ Locksets
  - Sliding Doors with Dead Bolt
  - Internal 3 Lever Brushed Stainless Steel
  - Front Door Knob Cylinder

## KITCHEN AND BATHROOM

- ✔ Caesar Stone Kitchen Counter Tops
- ✔ Sanitary Ware Kitchen
  - Stainless Steel Sink
  - Black Pillar Type Sink Mixer
- ✔ Sanitary Ware Bathrooms
  - Black Bath Mixer & Niki Spout
  - White Basin Pedastel
  - Black Basin Mixer
  - White Toilet
  - Bathroom Fittings as per Show Unit
  - Black Shower Rose and Arm
  - Black Shower Door with Clear Glass
  - Shower Mixer





# THE SPECIFICATION IT'S ALL IN THE DETAILS



## ELECTRICAL

- ✔ Energy Efficient Interior Lighting
- ✔ Durable External Lighting
- ✔ Fibre and DSTV Point
- ✔ Hot Water Heating System
- ✔ Electricity - Prepaid Meters
- ✔ Lighting Fittings - As per Show Unit
- ✔ Kitchen Appliances for 1, 2 & 3 Bedrooms
  - 2 Bedroom & 3 Bedroom Apartments
    - Undercounter Electric Oven
    - Electric Hob & Extractor
    - Fridge & Dishwasher
    - Washing Machine
  - 1 Bedroom Apartments
    - Undercounter Electric Oven
    - Hob & Extractor
    - Fridge & Dishwasher
    - Washing Machine

## EXTERNAL FINISHES

- ✔ External Plaster and Paint on all Floors
- ✔ Concrete Windowsills / Plaster

## SECURITY

- ✔ Electric Fencing around entire development
- ✔ Biometric QR/Facial scanners access controlled entrance
- ✔ Trained Security Guards at the entrance
- ✔ State-of-the-Art CCTV camera system

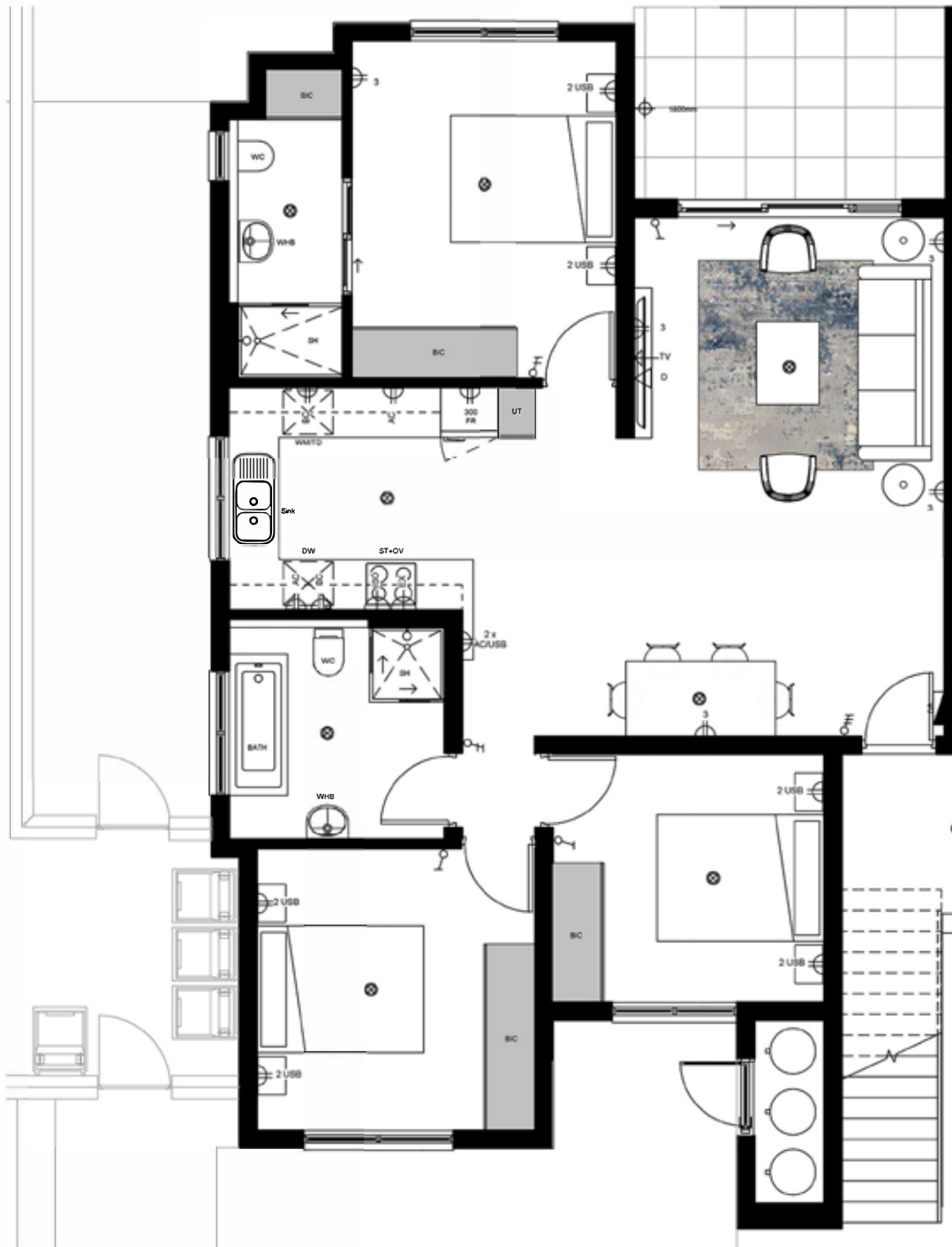
## CLAUSE

- ✔ The developer reserves the right to substitute or replace any of the above with an equivalent or improved product should problems of availability arise, or for any other reason.
- ✔ Garden sizes and configuration may vary from plan to accommodate site conditions.
- ✔ Parking allocation may vary from plan to accommodate site conditions.





GROUND FLOOR



**3 BEDROOM 2 BATHROOM**

PHASE 12 ONWARDS

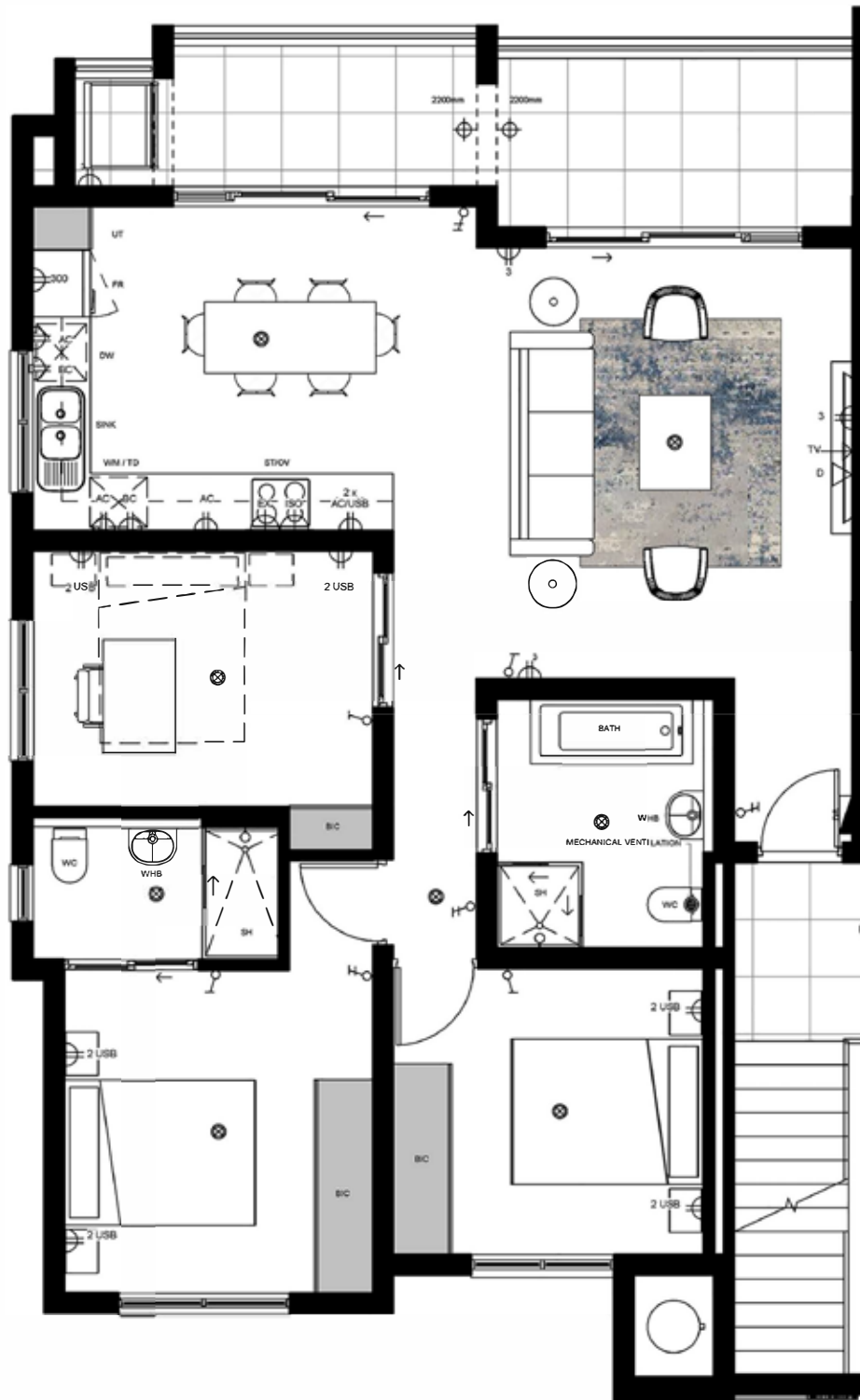
Apartment Area	99.06m <sup>2</sup>
Covered Patio	8.97m <sup>2</sup>
<b>Total Area</b>	<b>108.03m<sup>2</sup></b>



# APARTMENT TYPE L

BLOCK TYPE F

FIRST FLOOR

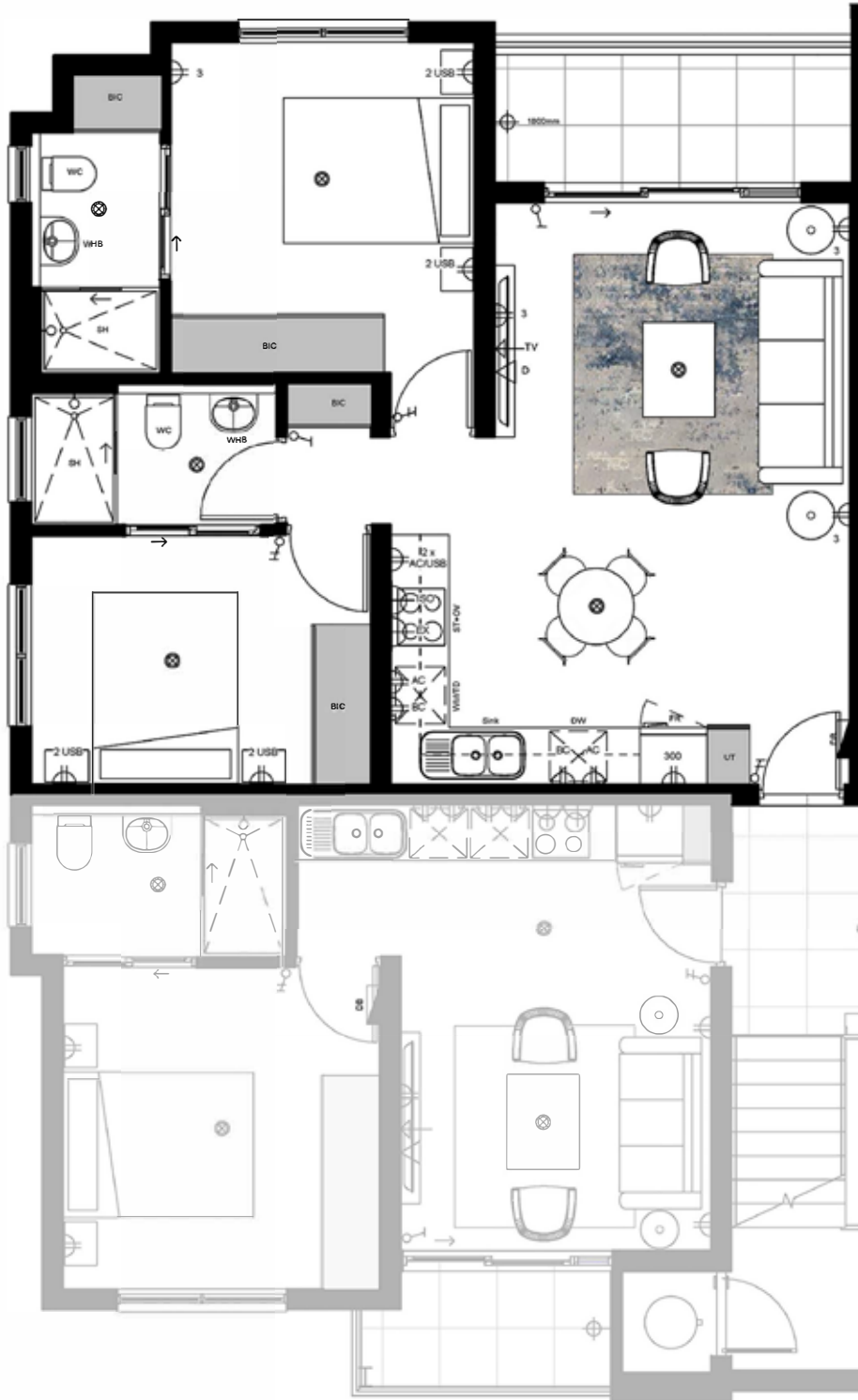


**3 BEDROOM 2 BATHROOM**

PHASE 12 ONWARDS

Apartment Area	95.22m <sup>2</sup>
Covered Patio	15.21m <sup>2</sup>
<b>Total Area</b>	<b>110.43m<sup>2</sup></b>

SECOND FLOOR



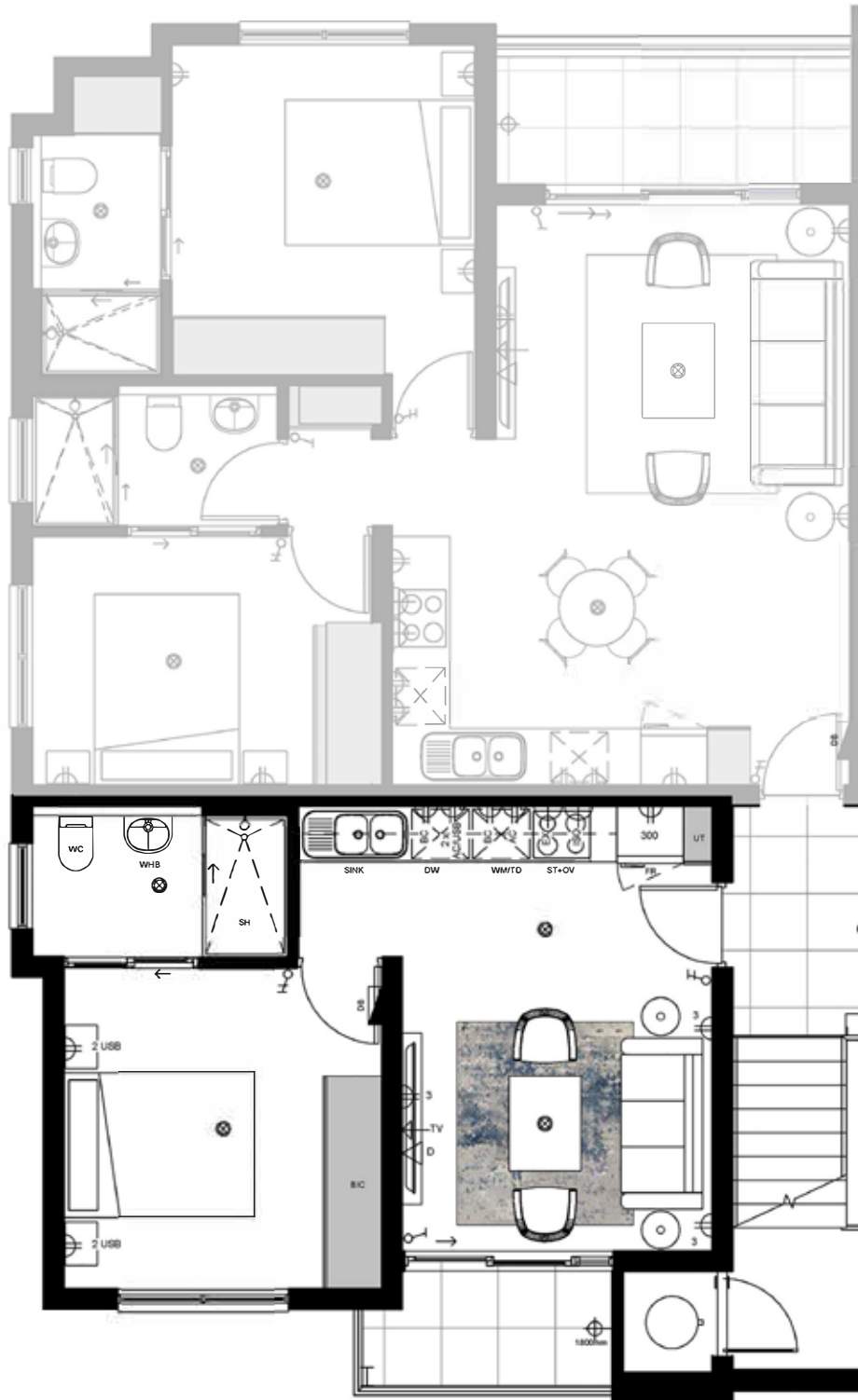
## 2 BEDROOM 2 BATHROOM

PHASE 12 ONWARDS

Apartment Area	65.7m <sup>2</sup>
Covered Patio	6.13m <sup>2</sup>
<b>Total Area</b>	<b>71.83m<sup>2</sup></b>



## SECOND FLOOR

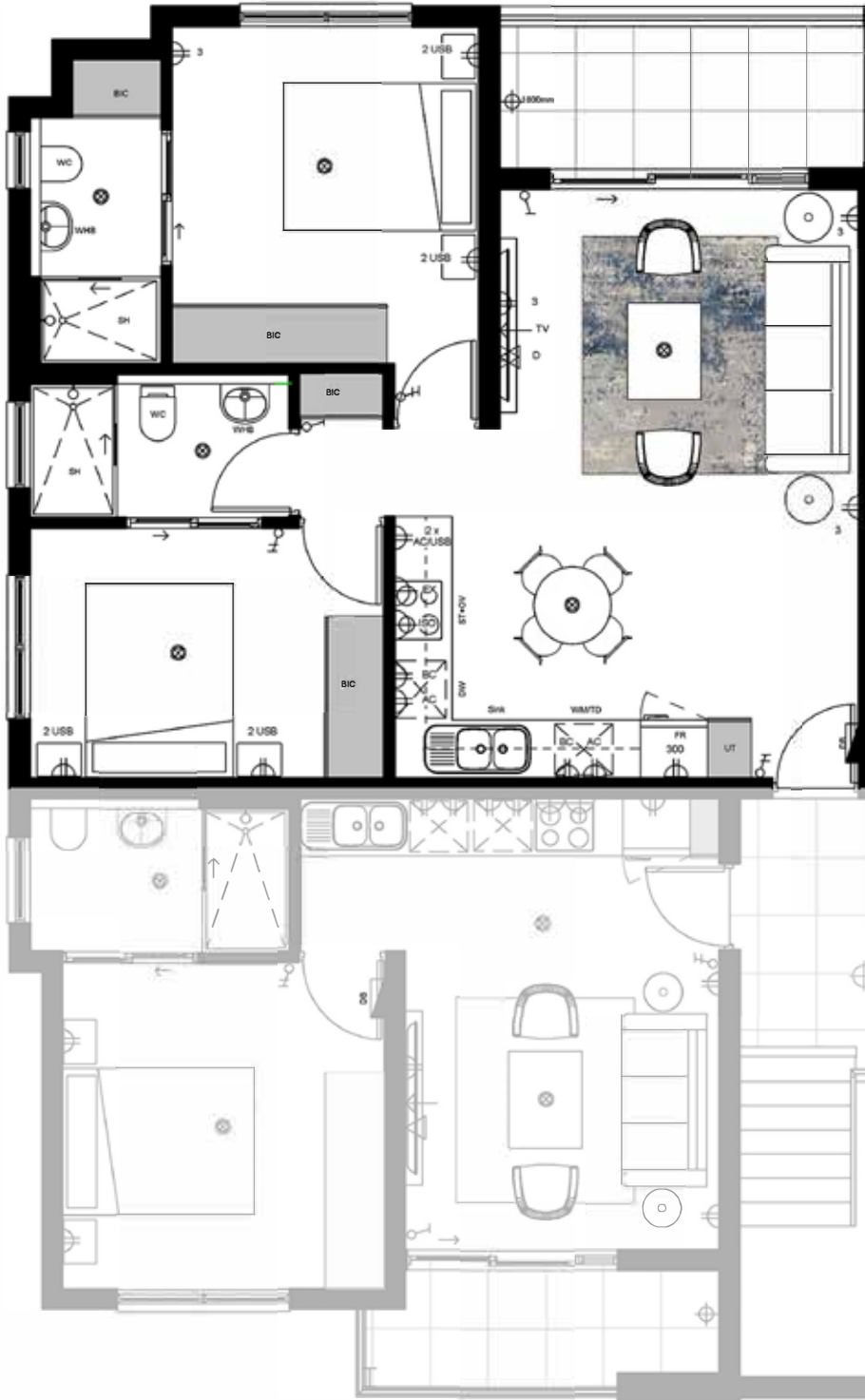


**1 BEDROOM 1 BATHROOM**

PHASE 12 ONWARDS

Apartment Area	38.37m <sup>2</sup>
Covered Patio	3.36m <sup>2</sup>
<b>Total Area</b>	<b>41.73m<sup>2</sup></b>

THIRD FLOOR



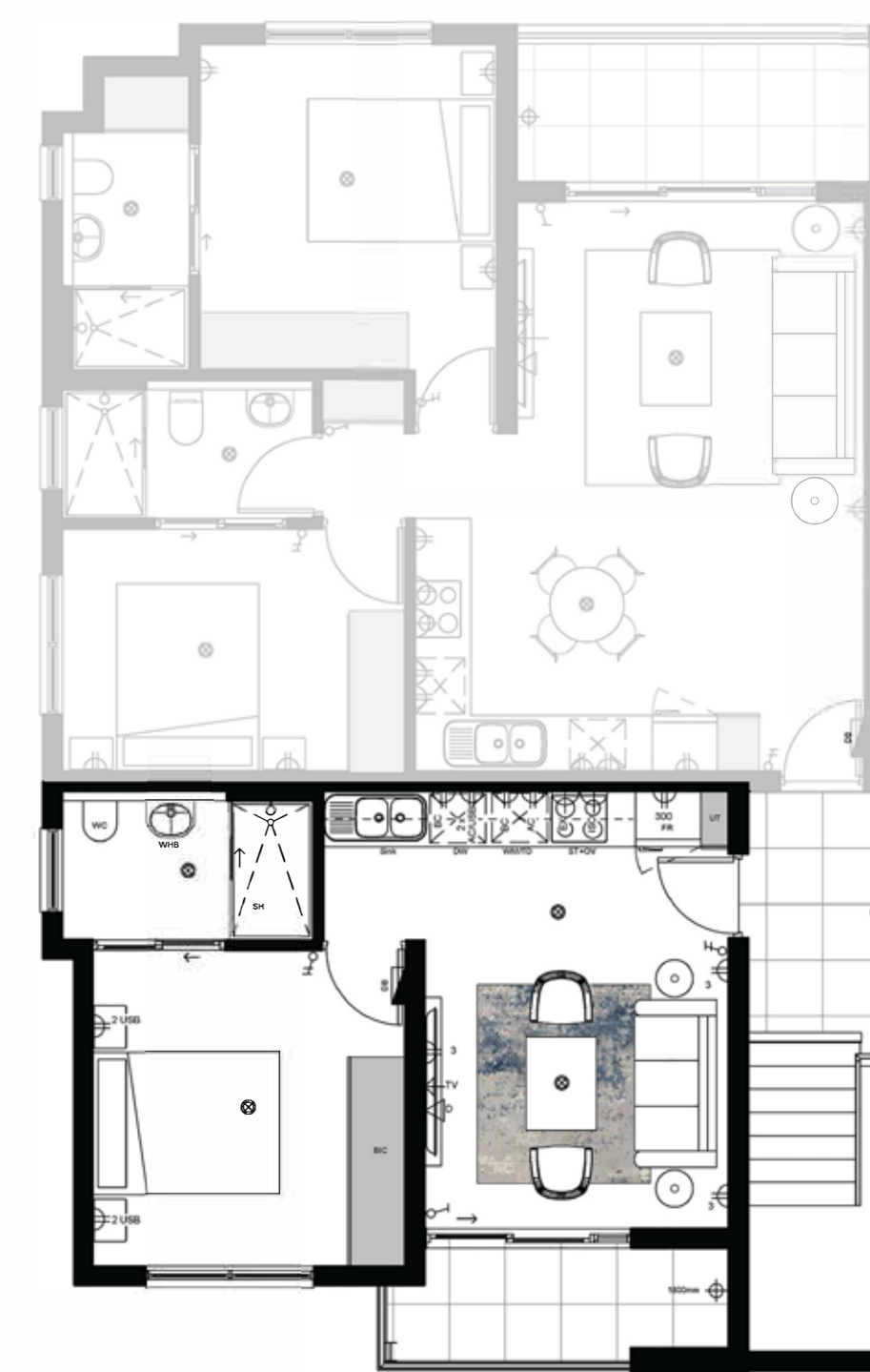
## 2 BEDROOM 2 BATHROOM

PHASE 12 ONWARDS

Apartment Area	65.15m <sup>2</sup>
Covered Patio	6.14m <sup>2</sup>
<b>Total Area</b>	<b>71.29m<sup>2</sup></b>



THIRD FLOOR



**1 BEDROOM 1 BATHROOM**

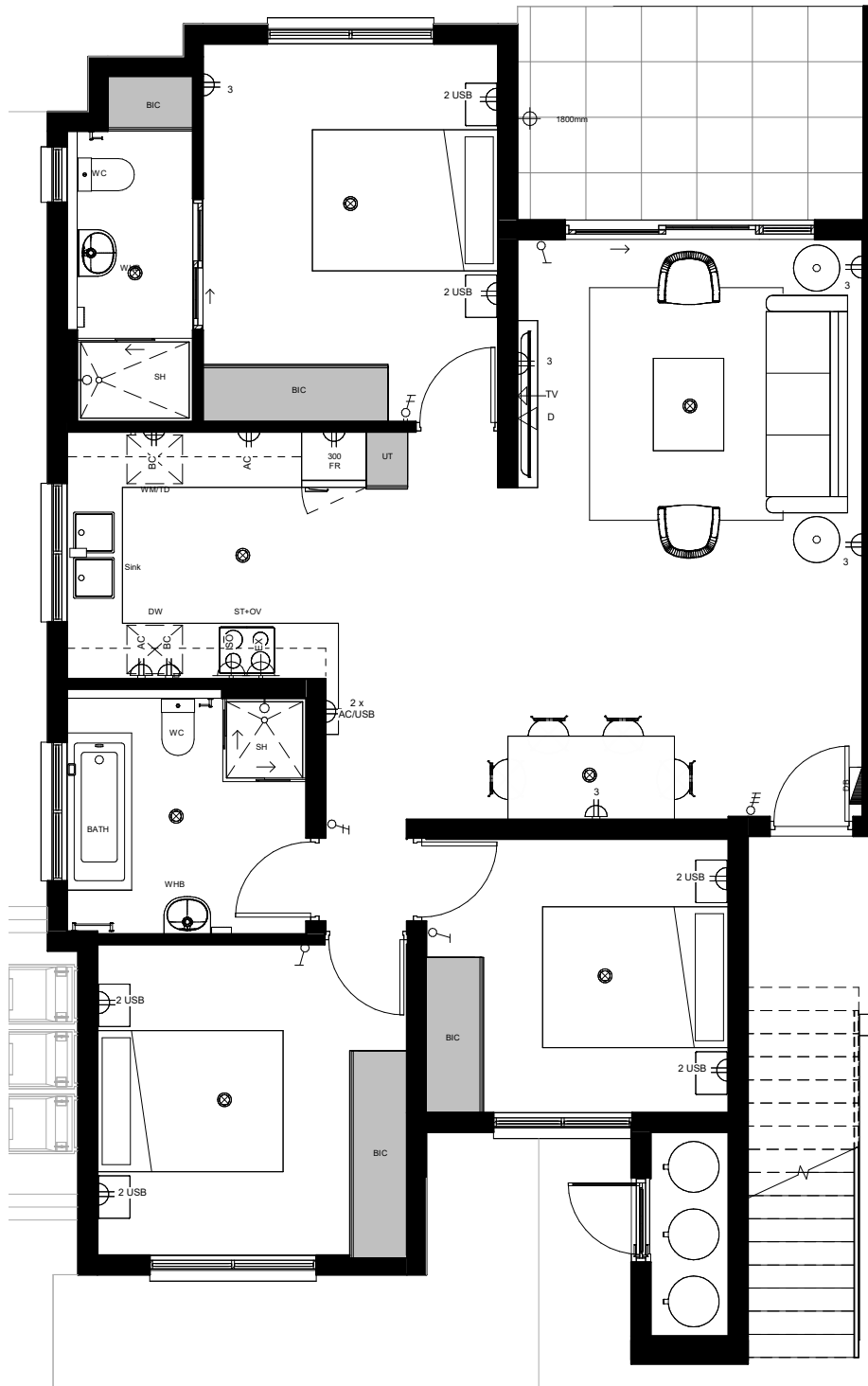
PHASE 12 ONWARDS

Apartment Area	38.27m <sup>2</sup>
Covered Patio	4.47m <sup>2</sup>
<b>Total Area</b>	<b>42.74m<sup>2</sup></b>

# APARTMENT TYPE Q

BLOCK TYPE F2

GROUND FLOOR



**3 BEDROOM 2 BATHROOM**

PHASE 19 ONWARDS

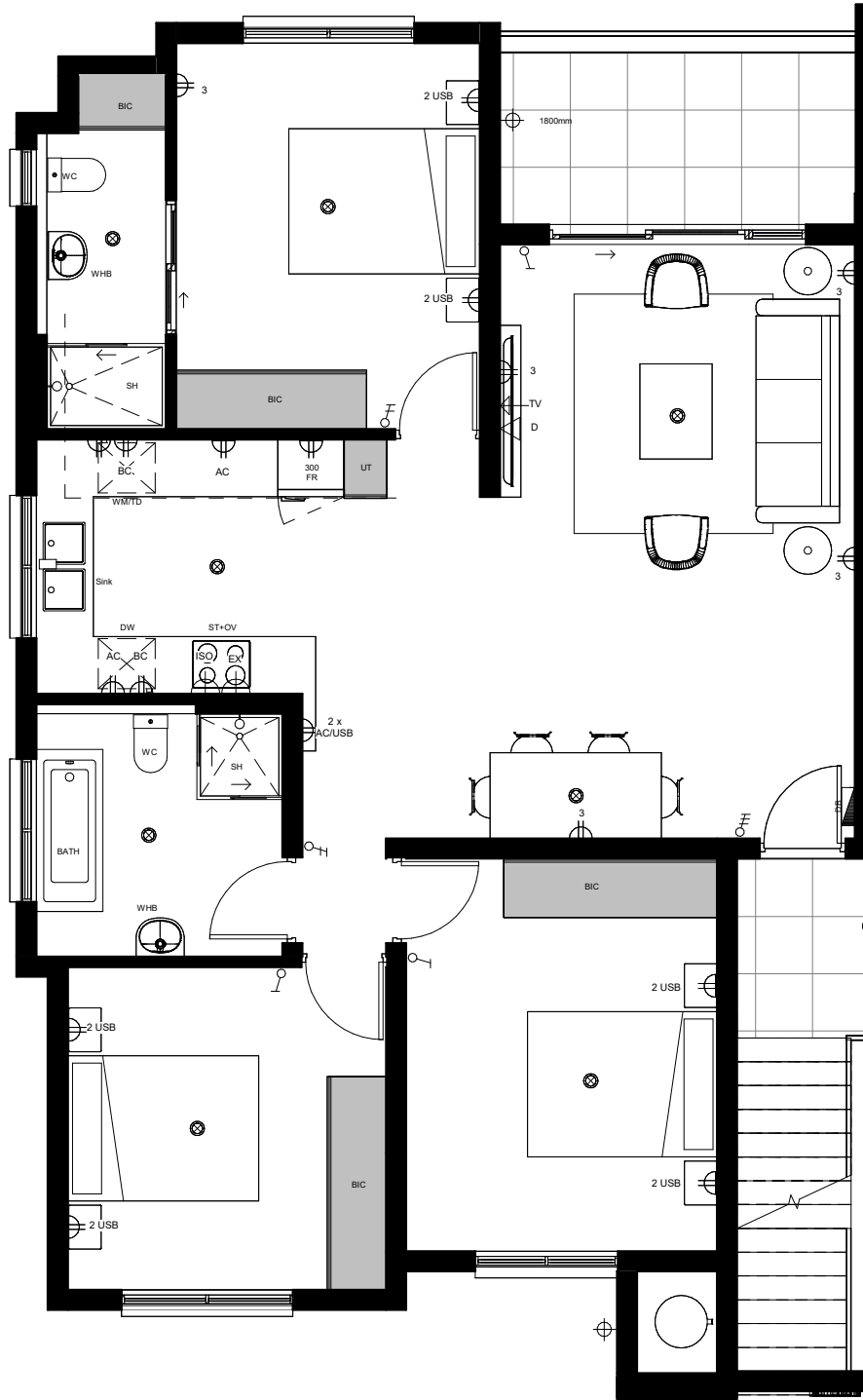
Apartment Area	99.06m <sup>2</sup>
Covered Patio	8.97m <sup>2</sup>
<b>Total Area</b>	<b>108.03m<sup>2</sup></b>



# APARTMENT TYPE R

BLOCK TYPE F2

FIRST FLOOR



**3 BEDROOM 2 BATHROOM**

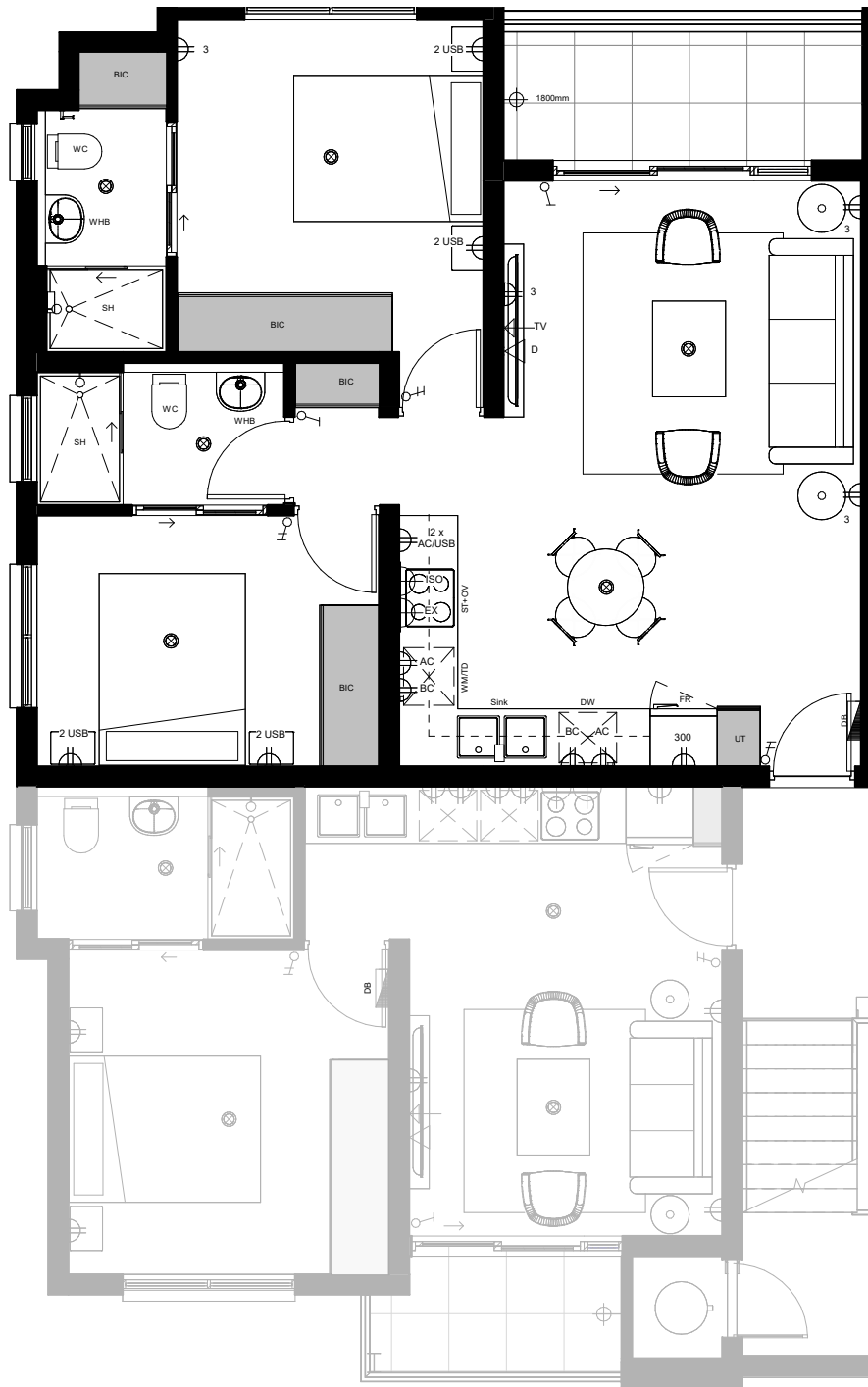
PHASE 19 ONWARDS

Apartment Area	103.08m <sup>2</sup>
Covered Patio	7.90m <sup>2</sup>
<b>Total Area</b>	<b>110.98m<sup>2</sup></b>

# APARTMENT TYPE S

BLOCK TYPE F2

SECOND FLOOR



**2 BEDROOM 2 BATHROOM**

PHASE 19 ONWARDS

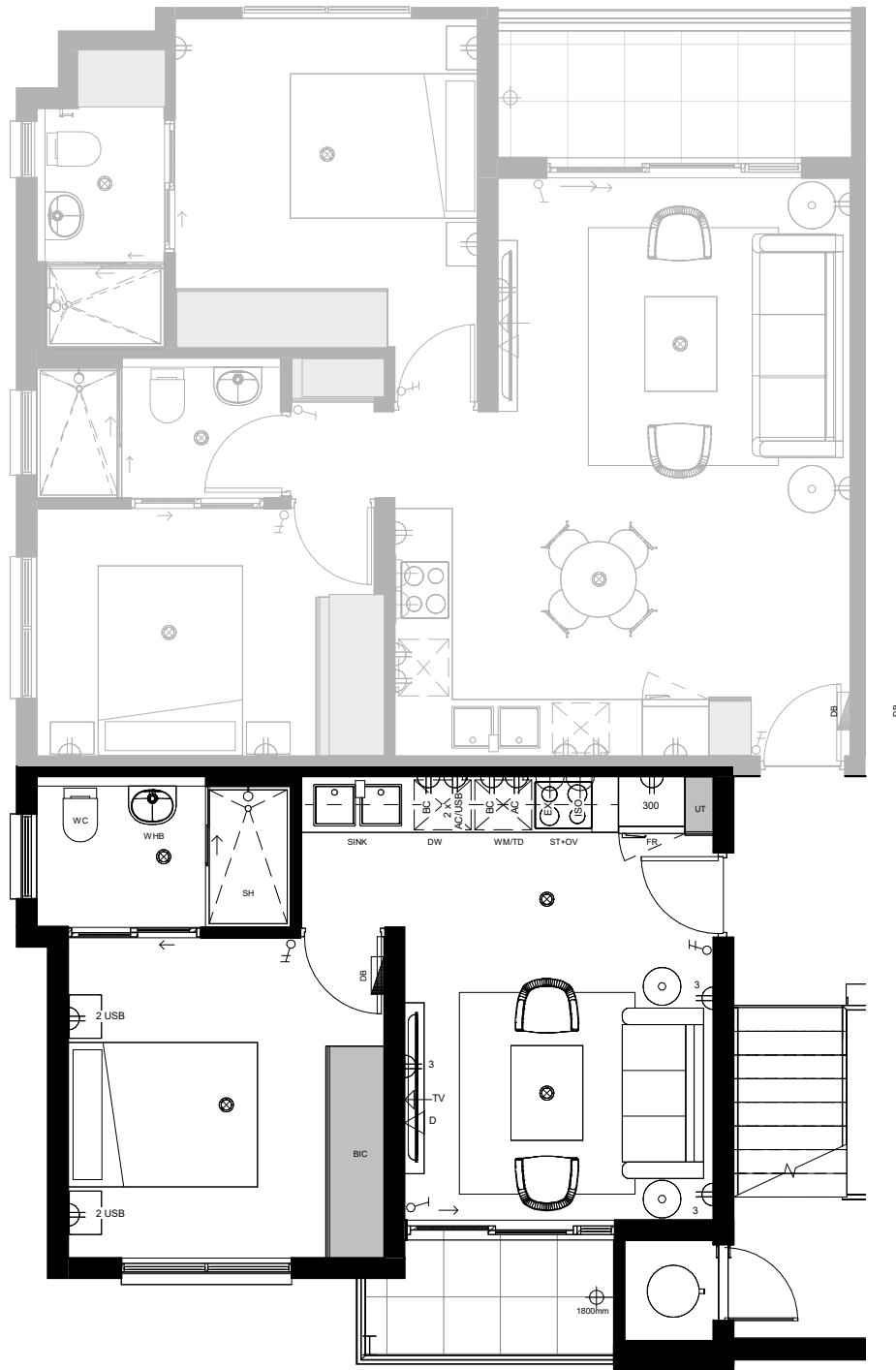
Apartment Area	65.15m <sup>2</sup>
Covered Patio	6.00m <sup>2</sup>
<b>Total Area</b>	<b>71.20m<sup>2</sup></b>



# APARTMENT TYPE T

BLOCK TYPE F2

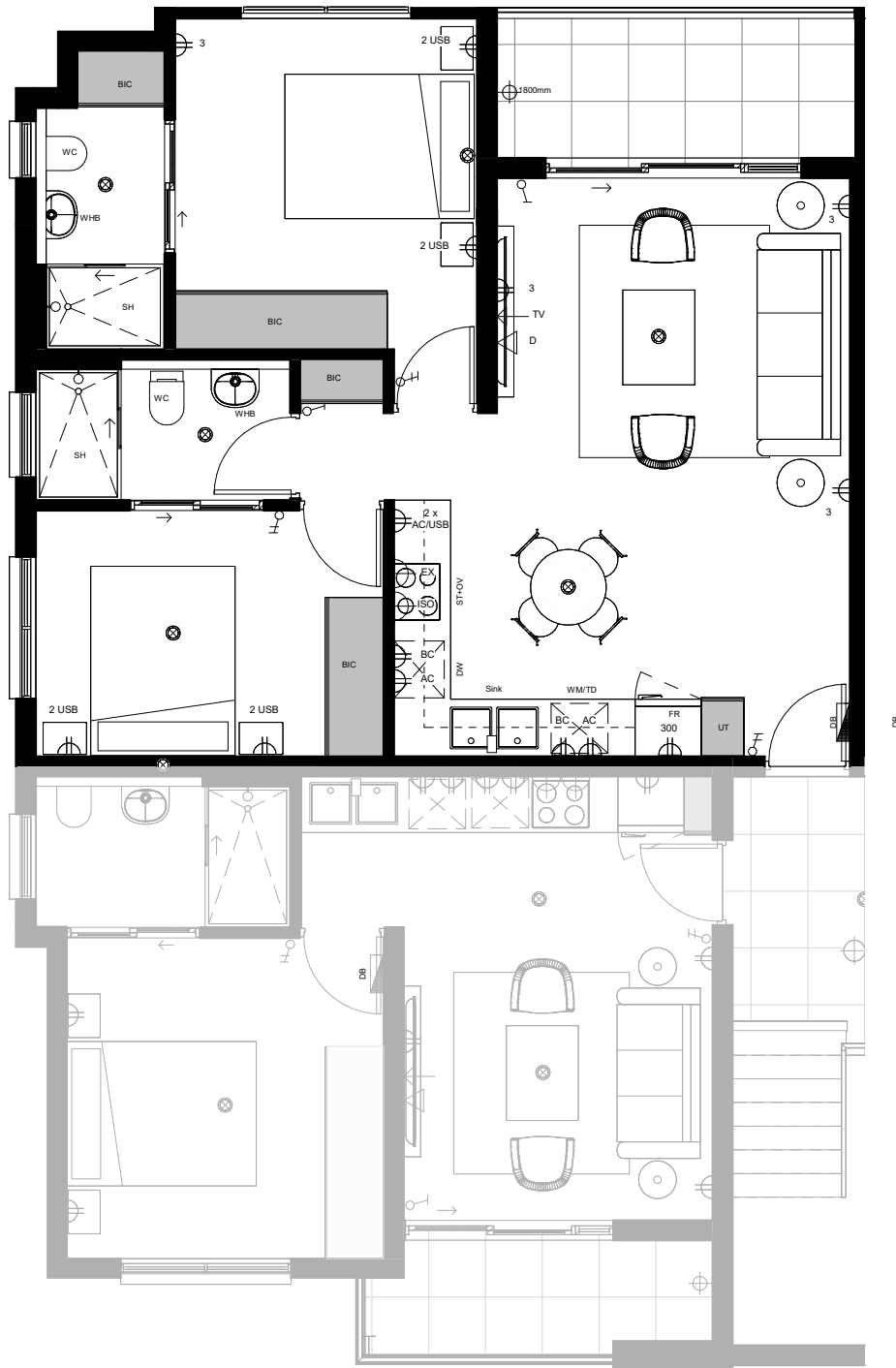
## SECOND FLOOR



**1 BEDROOM 1 BATHROOM**  
 PHASE 19 ONWARDS

Apartment Area	38.37m <sup>2</sup>
Covered Patio	3.36m <sup>2</sup>
<b>Total Area</b>	<b>41.73m<sup>2</sup></b>

## THIRD FLOOR



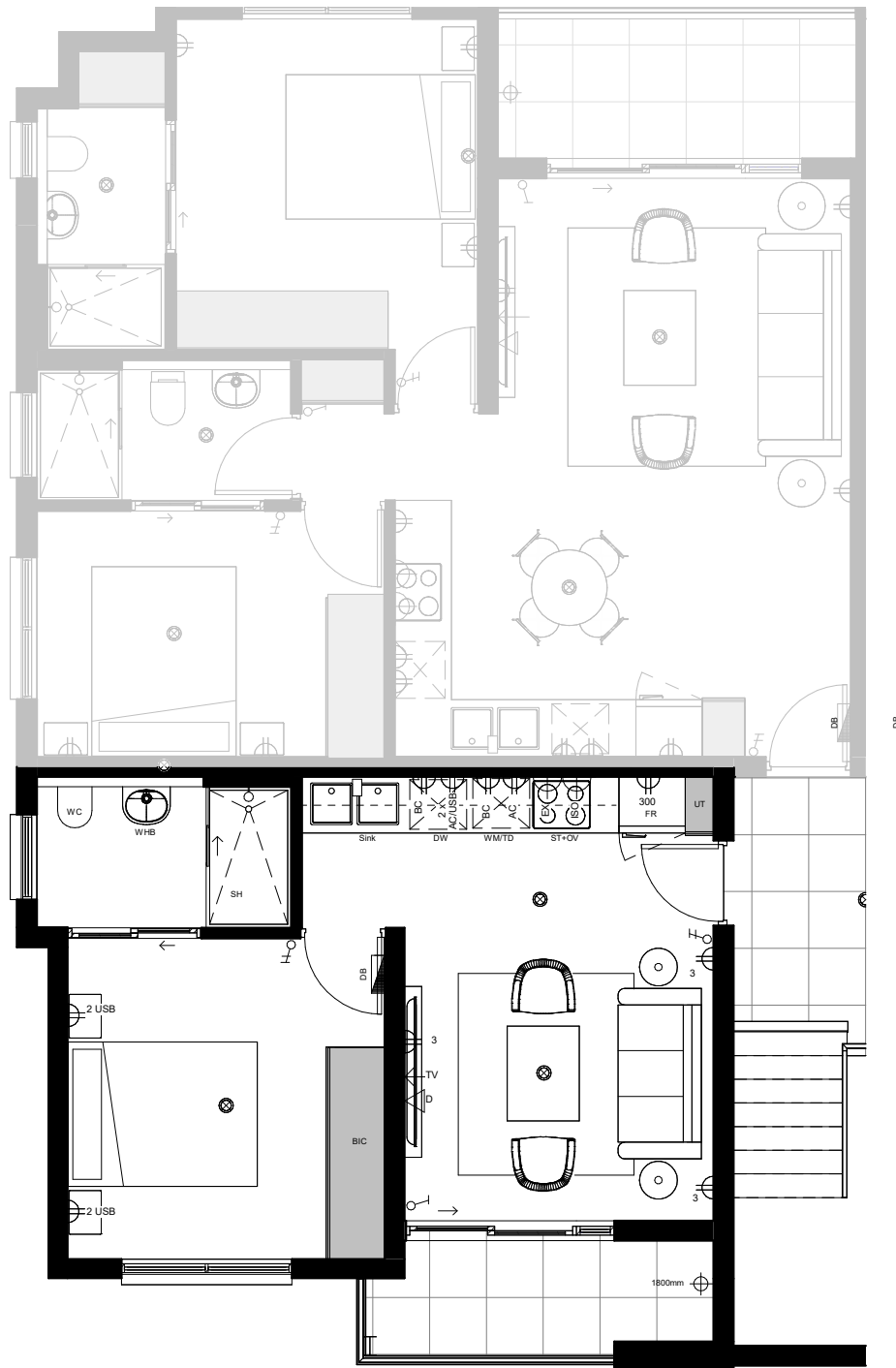
## 2 BEDROOM 2 BATHROOM

PHASE 19 ONWARDS

Apartment Area	65.15m <sup>2</sup>
Covered Patio	6.44m <sup>2</sup>
<b>Total Area</b>	<b>71.50m<sup>2</sup></b>



THIRD FLOOR



**1 BEDROOM 1 BATHROOM**

PHASE 19 ONWARDS

Apartment Area	38.30m <sup>2</sup>
Covered Patio	4.77m <sup>2</sup>
<b>Total Area</b>	<b>43.07m<sup>2</sup></b>







**THE**  **HUNTSMAN**  
S O M E R S E T   W E S T

SOMERSET WEST | WESTERN CAPE | SOUTH AFRICA





# STEVE BROOKES

CEO - BALWIN PROPERTIES LTD

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“Balwin Properties Limited strives to be the home builder of choice of all South Africans through the delivery of unique high quality lifestyle homes.”

It has always been my vision to create a company with strong old school principles. A company with an exciting vision delivering the highest standards, strong values and exacting disciplines.

I like to challenge the conventional and reinvent the way we deliver, sustain and create. The company, Balwin Properties, of which I am so proud to be a part has been my vision to be the most exciting and dynamic property developer in South Africa.

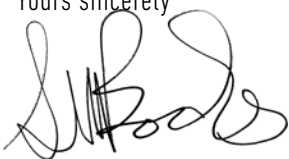
When I launched Balwin Properties, the company name was created for a simple reason. To create a brand that every community and people group would live and experience a true culture of excellence in residential properties.

Our brand values represents quality, innovation, passion, integrity and most of all, people.

We are very pleased to bring our brand to The Huntsman which is more than a home, it's a lifestyle. This is a luxury development and has the potential to become the leading address in Somerset West, and we are providing a range of apartments to suit the needs of many purchasers, from first time buyers to families and investors.

All Balwin Properties Limited homes are Edge Green certified and our lifestyle centres are “6-Star” Green Rated. We passionately strive to improve our developments and have also created Balwin Parks to protect our planet and further enhance the lifestyle offering to our clients.

Yours sincerely



**Steve Brookes**

Chief Executive Officer









# Latest Awards

37 International Property Awards



## Kerry Krynauw

📞 084 554 4552    ✉️ [kerry@balwin.co.za](mailto:kerry@balwin.co.za)

📍 Old Main Road, Firgrove, Somerset West

## On Show

2-6pm | Wed, Sat, Sun & All Public Holidays

