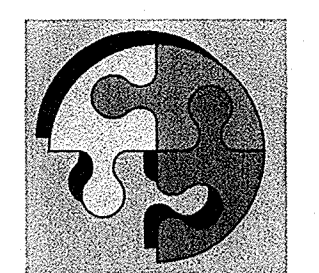


R06/193/13



Swart & Associates Architects  
Reg. No. 4552  
242 Lange Street  
Nu Metshoek, 1881  
P.O. Box 2300 Brooklyn Square  
Tel: +27 12 346 7080 Fax: +27 12 346 7079

Special notes:  
All materials and construction methods to comply with the national building regulations (SANS 10400:1977) including all applicable amendments.  
The contractor is responsible for obtaining all necessary permits and approvals from the relevant authorities.  
The contractor is responsible for the safety of the site and no liability is accepted for any injury or damage to persons or property.  
The contractor is responsible for the safety of the site and no liability is accepted for any injury or damage to persons or property.  
COPYRIGHT ART. 21(1)(b) 1978

From the undersigned, hereby confirm that I am fully aware of the contents of this drawing, that it is a true and correct copy of the original drawing, that it is a true and correct copy of the original drawing, that it is a true and correct copy of the original drawing.  
Client: \_\_\_\_\_ Date: \_\_\_\_\_  
Architect: \_\_\_\_\_ Date: \_\_\_\_\_  
Engineer: \_\_\_\_\_ Date: \_\_\_\_\_  
Other: \_\_\_\_\_ Date: \_\_\_\_\_

Project:  
New sectional title residential development on Portlouispark x34, a portion of Garstonsheep 374 JR

Description:  
Block C Floor plans

Drawing No: 1041-103  
Date: 30 Jan 2013  
Drawn: JH  
Checked: AS  
Scale: AS SHOWN  
Revision: 7

owner/contractor/developer:  
No construction may proceed on site prior to the approval of drawings by the local authority. Any building work that commences prior to building plan approval is completely at the owner's own risk. The architect may not be held responsible for any loss or damage whatsoever that may result from building works without approved building plans.  
Contractor to check all levels and dimensions prior to commencement of any work.  
Any discrepancies on drawings must be pointed out by the contractor to the architect prior to construction, if in doubt ask the architect.

soil conditions:  
The owner is responsible for soil tests.  
land surveyor note:  
The site must be identified by a registered Land surveyor. The ownership of the Land must be verified prior to setting out of works.  
All works to be set out by the land surveyor. The council must be issued with a lands surveyor's Certificate of confirmation.  
levels:  
Levels are approximate and must be verified by the contractor prior to construction.  
certificates required:  
The following certificates of compliance to SABS and NBR standards may be required from the contractor by the architect/owner:  
FOUNDATION CERTIFICATE: Engineer  
CHEMICAL TREATMENT OF SOIL: Specialist  
DPC: Council Inspector  
PLUMBING AND DRAINAGE: specialist sub-contractor  
ELECTRICAL INSTALLATION: specialist sub-contractor  
LAND SURVEYOR: land surveyor  
CIVIL WORKS and STORMWATER: engineer  
TRAFFIC and ROAD MARKINGS: engineer  
FIRE SAFETY CERTIFICATE: specialist and/or council  
LIGHTNING PROTECTION: specialist sub-contractor  
ROOF STRUCTURE: specialist sub-contractor and/or engineer  
ROOF COVERING: specialist sub-contractor and/or engineer  
CONCRETE SLABS: specialist sub-contractor and/or engineer  
WATERPROOFING: specialist sub-contractor  
GLAZING: specialist sub-contractor  
MECHANICAL VENTILATION: specialist sub-contractor and/or engineer

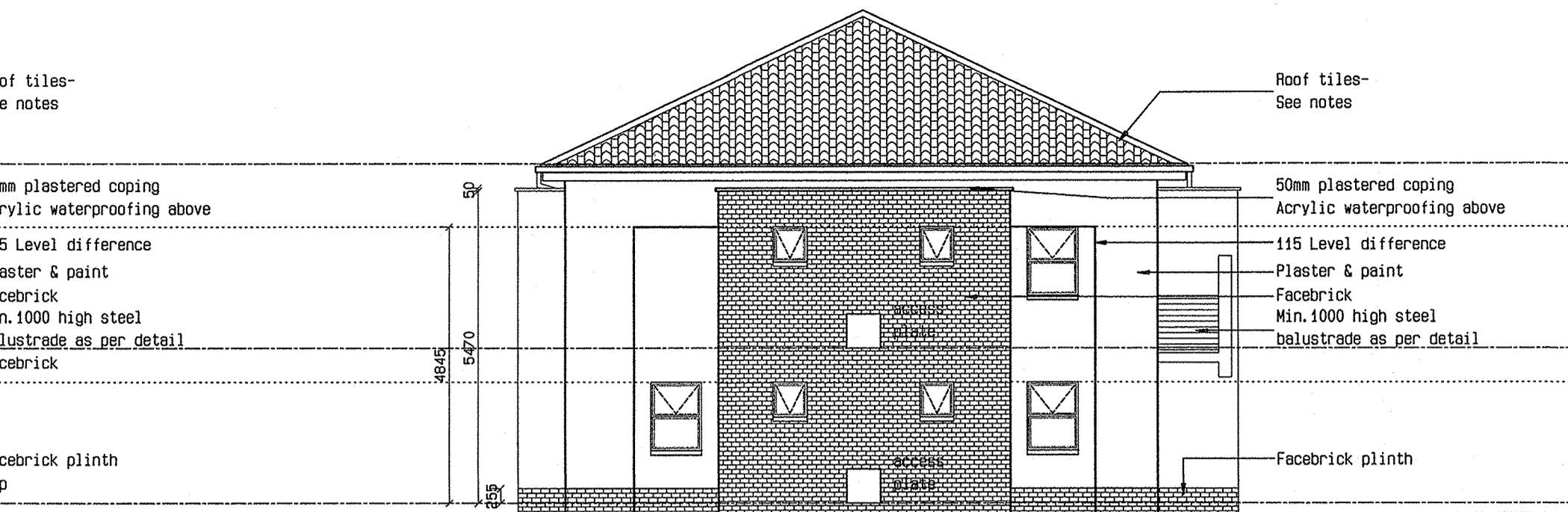
Materials and finishes:  
All finishing products such as window frames, roof tiles, tiles, cornices, etc must be approved by the developer/contractor before ordering and installation.  
All product used must comply to SABS standard and Local Authority Requirements.  
Local Authority notes:  
Building Standards:  
All work must comply to the NATIONAL BUILDING REGULATIONS and applicable SABS and NBR standards.  
Drawings may not be scaled for construction purposes.  
All drawings must be read in conjunction with one another. Notes reflected on drawings apply for the entire project and works.  
Any discrepancies on drawings must be pointed out by the contractor to the architect prior to construction and submission of tenders.  
If in doubt ask the architect.  
Drainage notes:  
Soil pipes to be 100 mm dia. PVC - Fall min 1:80  
Waste pipes to be 50 mm dia.  
Waste fitting to have re-seal traps 60 mm deep  
Provide anti-vac bottle traps to all waste fittings  
IE's to all bends and junctions to have marked covers at ground level.  
RE's to head of drain and at all changes of direction of soil pipes.  
Foundations to be protected where soil pipes go under buildings.  
Vent pipes to extend min 2.1m above window openings.

boundary walls:  
All boundary wall foundations not to exceed site perimeter. Provide construction joints at between 4500 - 7500 centres if not indicated on boundary wall elevations  
typical section  
scale 1:50  
NBR - K11 (Free-standing walls)  
Thickness Max. height  
115 0.8 0 240 x 230 at 1800 centres  
115 1.4 0 240 x 230 at 1800 centres  
230 1.8 0 480 x 350 at 3500 centres  
230 2.3 0 480 x 350 at 3500 centres  
geyser note:  
to comply with SABS 0254  
balustrade note:  
all balustrades must be min 1000 mm high with openings not larger than 100 mm to be installed at all areas where a floor level difference of 450 mm occurs  
window openings on levels above ground floor, must be provided with a balustrade where any opening section is lower than 1000 mm aft  
glazing:  
ALL GLAZING TO COMPLY WITH NBR-PART N & SABS 0137  
DIMENSIONS TO GLAZING maximum size of pane, sqm  
37mm 0.75  
47mm 1.5  
57mm 2.1  
67mm 3.2  
Any pane of glass installed in any door shall, be safety glass and shall have a nominal thickness of not less than 6 mm, and doors not likely to be apparent to any person approaching them, shall bear markings.  
Any glass lower than 500mm from floor finish shall be safety glass.  
Any windows at staircases must be safety glass  
flashing note:  
provide 0.8 mm flashing at all parapets and areas where the roof line changes  
brickwork expansion joints:  
refer to engineer for brickwork expansion joints

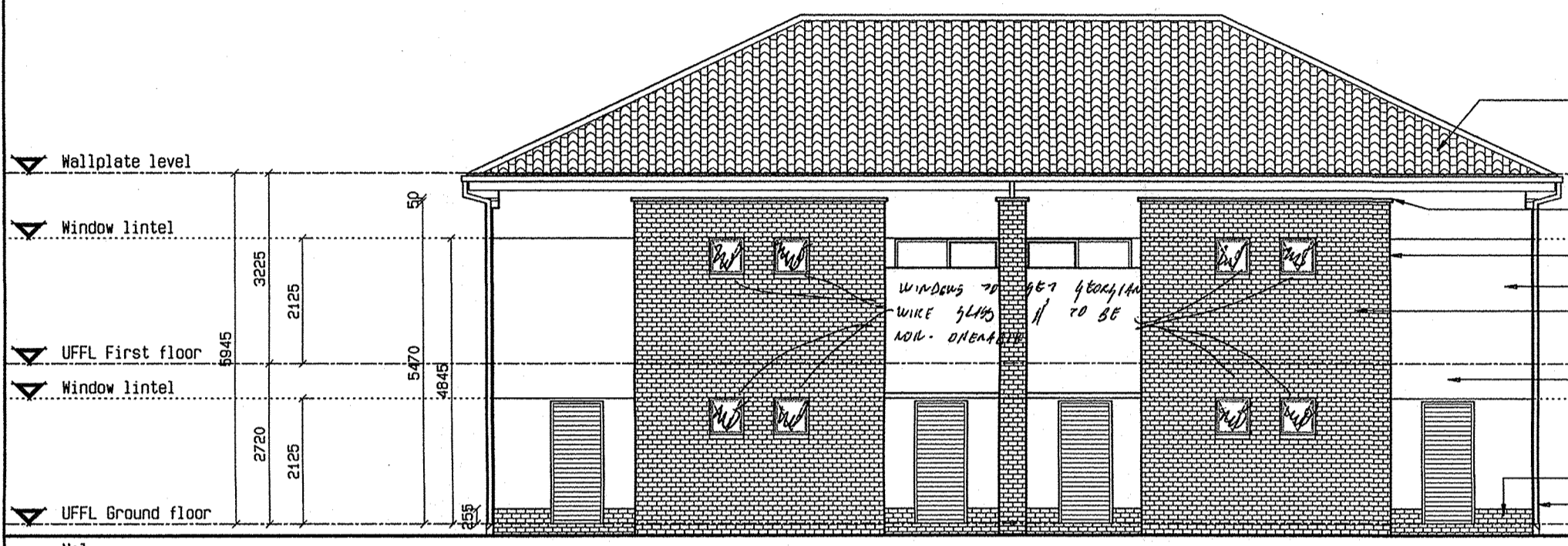
revisions  
all drawings must be read in conjunction with one another notes on drawings apply to the project as a whole contact the architect for the latest list of drawings refer to drawing list for latest revisions on drawings  
rev. no. | Description | Date  
02-10-2012



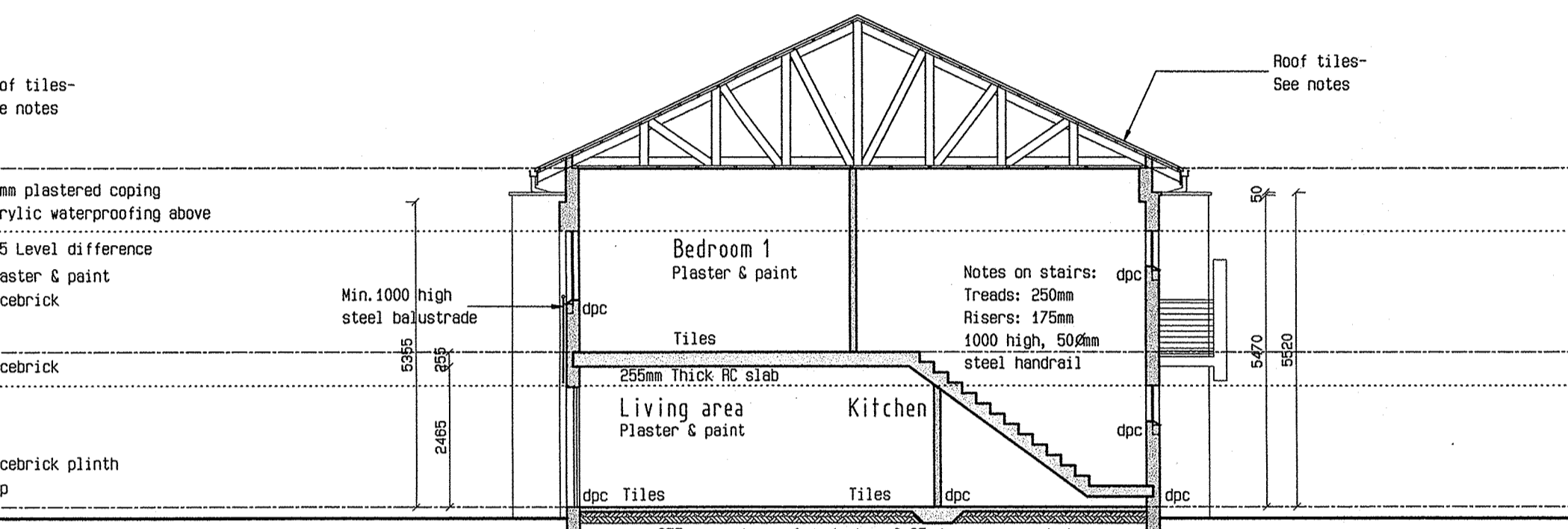
Front elevation  
Scale 1:100



Side elevation  
Scale 1:100

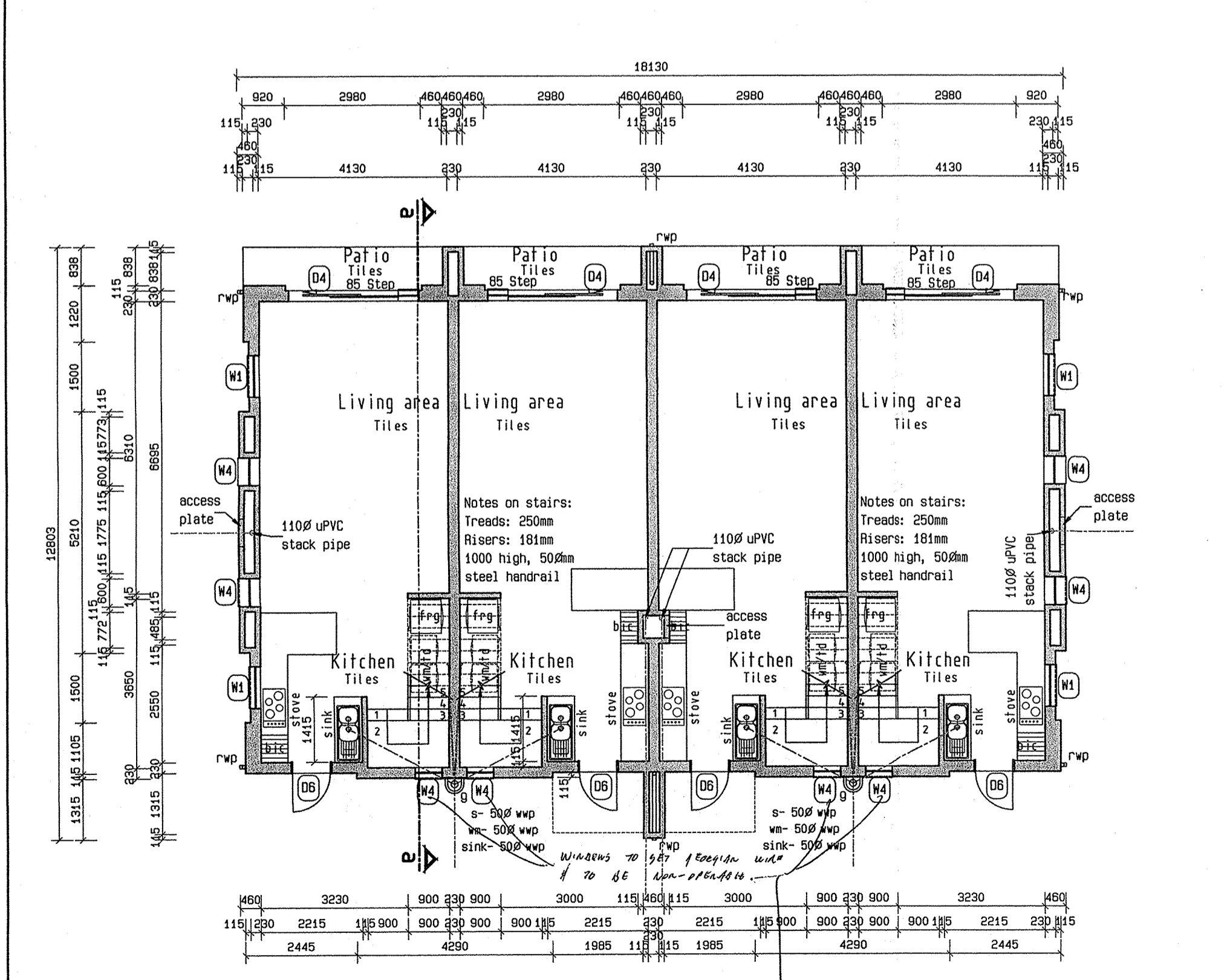


Rear elevation  
Scale 1:100

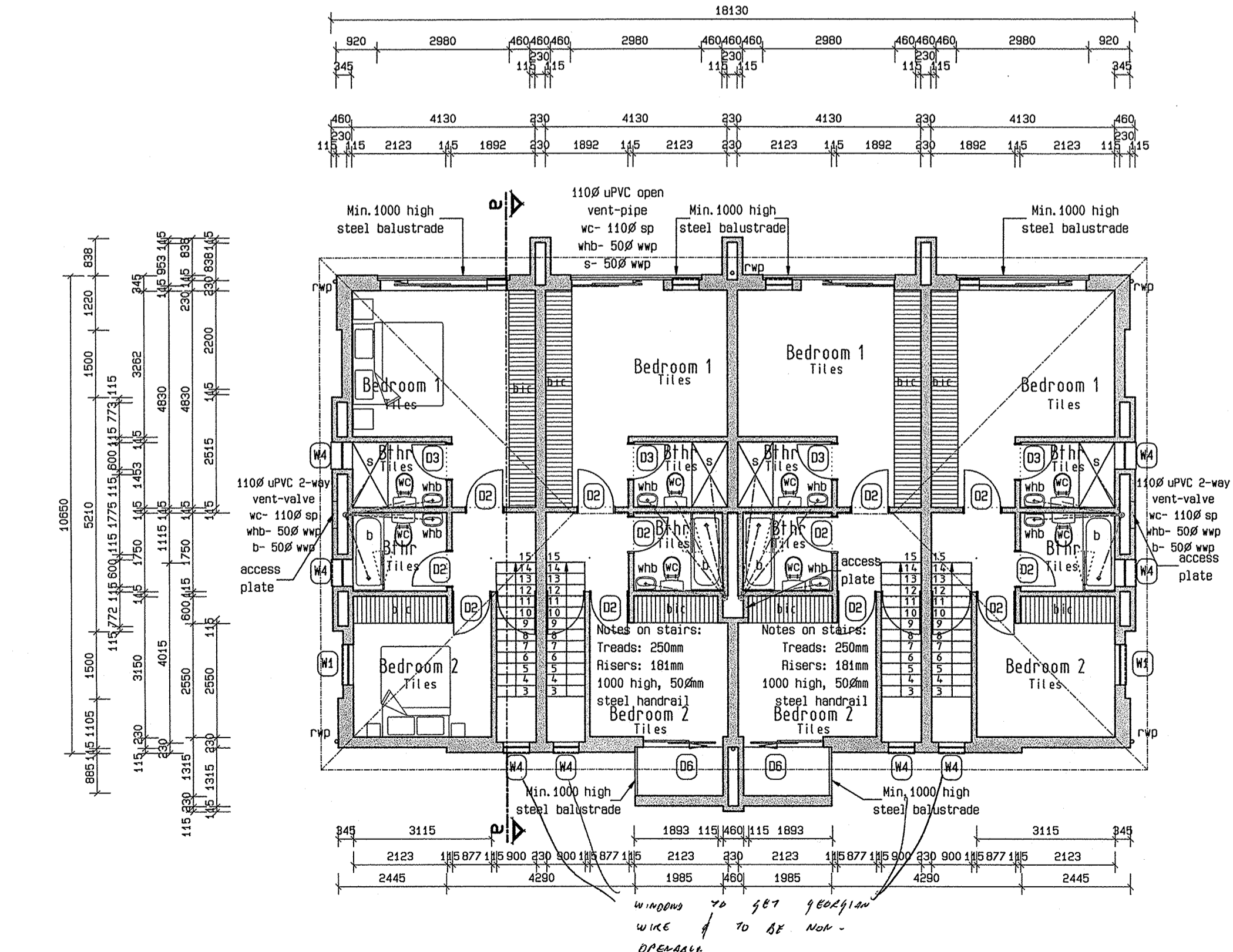


Section AA  
Scale 1:100

*[Handwritten signature]*



Ground floor plans  
scale 1: 100



First floor plans  
scale 1: 100

with steel frames  
20.2.2013  
*[Handwritten signature]*

windows to get glazing with steel frames  
20.2.2013  
*[Handwritten signature]*

