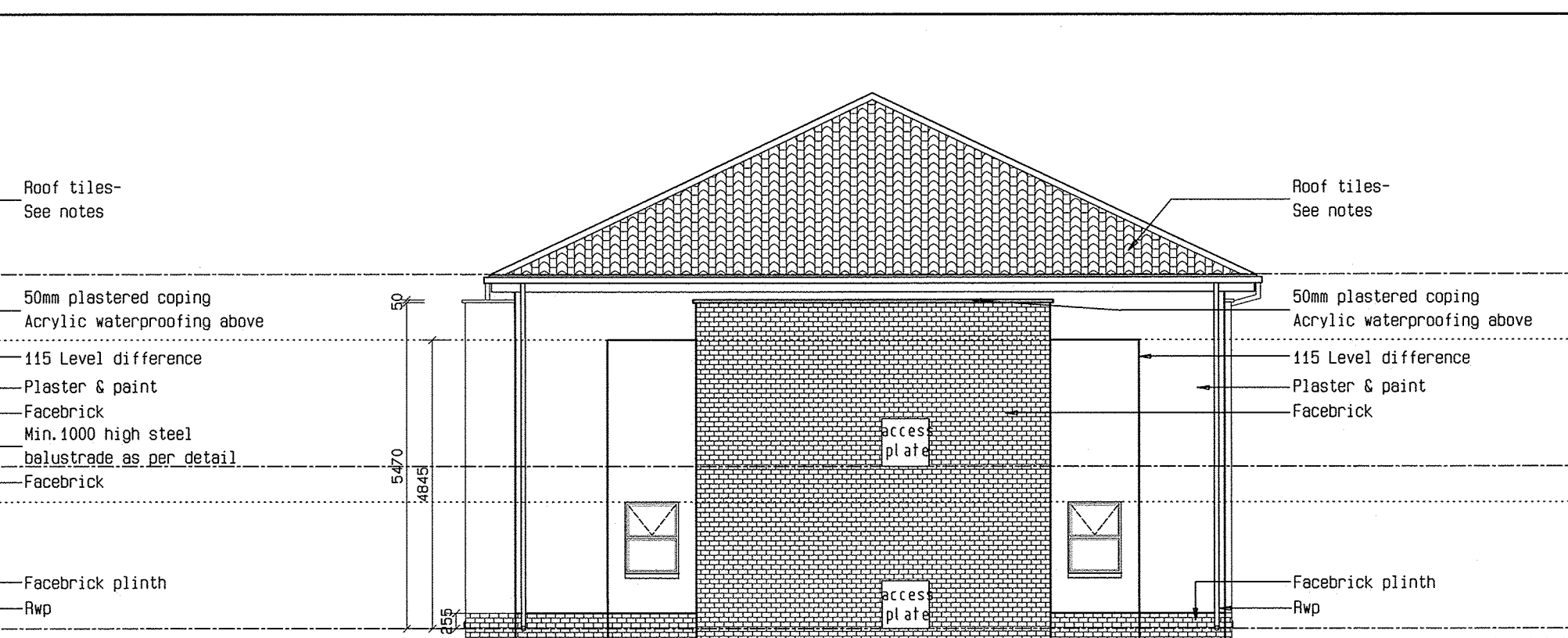
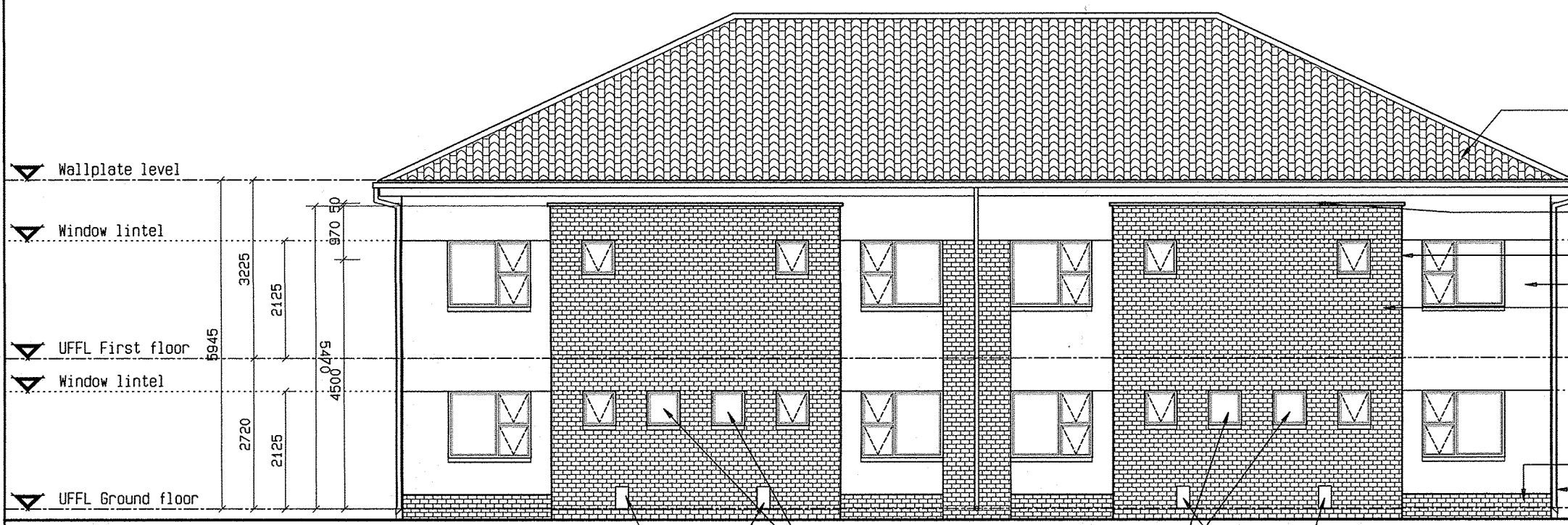




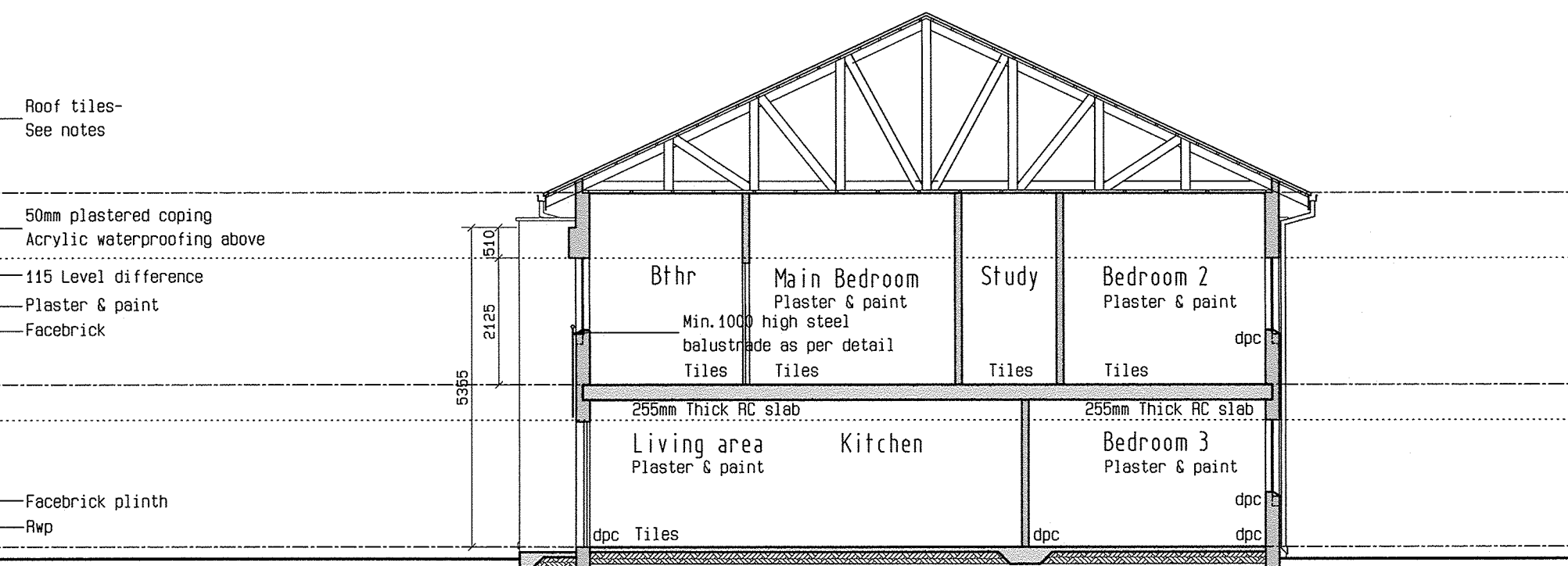
Front elevation
Scale 1:100



Side elevation
Scale 1:100



Rear elevation
Scale 1:100



Section AA
Scale 1:100

Roof note:
Marley Standard Terracotta Double Roman concrete roof tiles (code: DRS1TC), size 420x330mm laid in straight bond with minimum 75mm headlap, fixed at a pitch of 25 degrees with three rows of tiles at the ridge, eaves and verges for the full overhang and every third tile in every row over the remainder of the roof in a raking pattern using non-corrosive nails to 38x38mm sawn softwood battens at maximum 345mm centres, on Marley Under Tile Membrane with joints lapped 150mm, fixed over rafters 228x52mm SA Pine truss @ 780mm c/c as per engineer's specs.
All timber to be chemically treated against fire, termites, bacteria & fungus & to be painted.

Roof insulation note:
Roof insulation to be 100mm Thick Isover Factorylite flexible, non-combustible lightweight industrial fibreglass insulation material (nominal density 12kg per m³), with Reinforced Kraft Aluminium foil faced finish laid taut over purlins at 345 centres fixed concurrent with the roof covering with galvanised steel straining wires at 300mm centres, and tied down top and bottom after tensioning with galvanised hoop iron ties.

Rainwater disposal system notes:
150x125x150mm box eaves gutter, including all necessary outlets, connectors, expansion joints, corners, stopends with spigot and socket ends of gutter sealed with mastic jointing compound and bolted together with M6x40 verandah bolts with flat and maldoid washers, fitted into 150x125x150mm VIV aluminium alloy gutter brackets fixed to Nuteac fascia board at 1000mm centres with two brackets at each gutter fitting with M6x40 verandah bolts, with 1:200 falls towards outlets and expansion joints at 50m intervals.

Ceiling note:
9.4m Plastered gypsum ceilings at heights as indicated screwed to 38x38mm SA Pine bracing. Shadowline cornice to be used.

Slab note:
12mm Screed on 25mm Thick reinforced concrete slab as per engineer's specs.

Surface bed:
12mm Screed on 25mm concrete floor slab on 0.25m dpn on compacted filling in layers not more than 150mm.

Brickwork expansion joints:
Refer to engineer for brickwork expansion joints

owner/contractor/developer:
No construction may proceed on site prior to the approval of drawings by the local authority. Any building work that commences prior to building plan approval is completely at the owner's own risk - The architect may not be held responsible for any loss or damage whatsoever that may result from building works without approved building plans.
Contractor to check all levels and dimensions prior to commencement of any work.
Any discrepancies on drawings must be pointed out by the contractor to the architect prior to construction. If in doubt ask the architect.

soil conditions:
The owner is responsible for soil tests.

land surveyor note:
The site must be identified by a registered Land surveyor. The ownership of the Land must be verified prior to setting out of works.
All works to be set out by the land surveyor. The council must be issued with a lands surveyor's Certificate of confirmation.

levels:
Levels are approximate and must be verified by the contractor prior to pricing and construction.

certificates required:
The following certificates of compliance to SABS and NBR standards may be required from the contractor by the architect/owner:

- FOUNDATION CERTIFICATE: Engineer
- CHEMICAL TREATMENT OF SOIL: Specialist
- DPC: Council Inspector
- PLUMBING AND DRAINAGE: specialist sub-contractor
- ELECTRICAL INSTALLATION: specialist sub-contractor
- LAND SURVEYOR: land surveyor
- CIVIL WORKS and STORMWATER: engineer
- TRAFFIC and ROAD MARKINGS: engineer
- FIRE SAFETY CERTIFICATE: specialist and/or council
- LIGHTNING PROTECTION: specialist sub-contractor
- ROOF STRUCTURE: specialist sub-contractor and/or engineer
- ROOF COVERING: specialist sub-contractor and/or engineer
- CONCRETE SLABS: specialist sub-contractor and/or engineer
- WATERPROOFING: specialist sub-contractor
- GLAZING: specialist sub-contractor
- MECHANICAL VENTILATION: specialist sub-contractor and/or engineer

Materials and finishes:
All finishing products such as window frames, roof tiles, tiles, cornices, etc must be approved by the developer/architect before ordering and installation.
All product used must comply to SABS standard and Local Authority Requirements.

Local Authority notes:
Building Authority:
All work must comply to the NATIONAL BUILDING REGULATIONS and applicable SABS and NBR standards.

Drawings may not be scaled for construction purposes.
All drawings must be read in conjunction with one another. Notes reflected on drawings apply for the entire project and works.
Any discrepancies on drawings must be pointed out by the contractor to the architect prior to construction and submission of tenders.
If in doubt ask the architect.

Drainage notes:
Soil pipes to be 100 mm dia. PVC - Fall min 1:60
Waste pipes to be 50 mm dia.
Waste fitting to have re-seal traps 60 mm deep
Provide anti-vac bottle traps to all waste fittings
IE's to all bends and junctions to have marked covers at ground level.

RE's to head of drain and at all changes of direction of soil pipes.
Foundations to be protected where soil pipes go under buildings.
Vent pipes to extend min 2.1m above window openings.

boundary walls:
All boundary wall foundations not to exceed site perimeter. Provide construction joints at between 4500 - 7500 centres if not indicated on boundary wall elevations

typical section
scale 1:50
NBR - KK11 (Free-standing walls)
Thickness Max. height Piers
115 0.8 0
115 1.4 240 x 230 at 1800 centres
230 1.8
230 2.3 480 x 350 at 3500 centres

geyser note:
to comply with SABS 0254

balustrade note:
all balustrades must be min 1000 mm high with openings not larger than 100 mm
to be installed at all areas where a floor level difference of 450 mm occurs

window openings on levels above ground floor, must be provided with a balustrade where an opening section is lower than 1000 mm aft

glazing:
ALL GLAZING TO COMPLY WITH NBR-PART N & SABS 0137 DIMENSIONS GLAZING
minimum glass thickness maximum size of pane, sqm
3mm 1.5
4mm 1.5
5mm 2.1
6mm 3.2

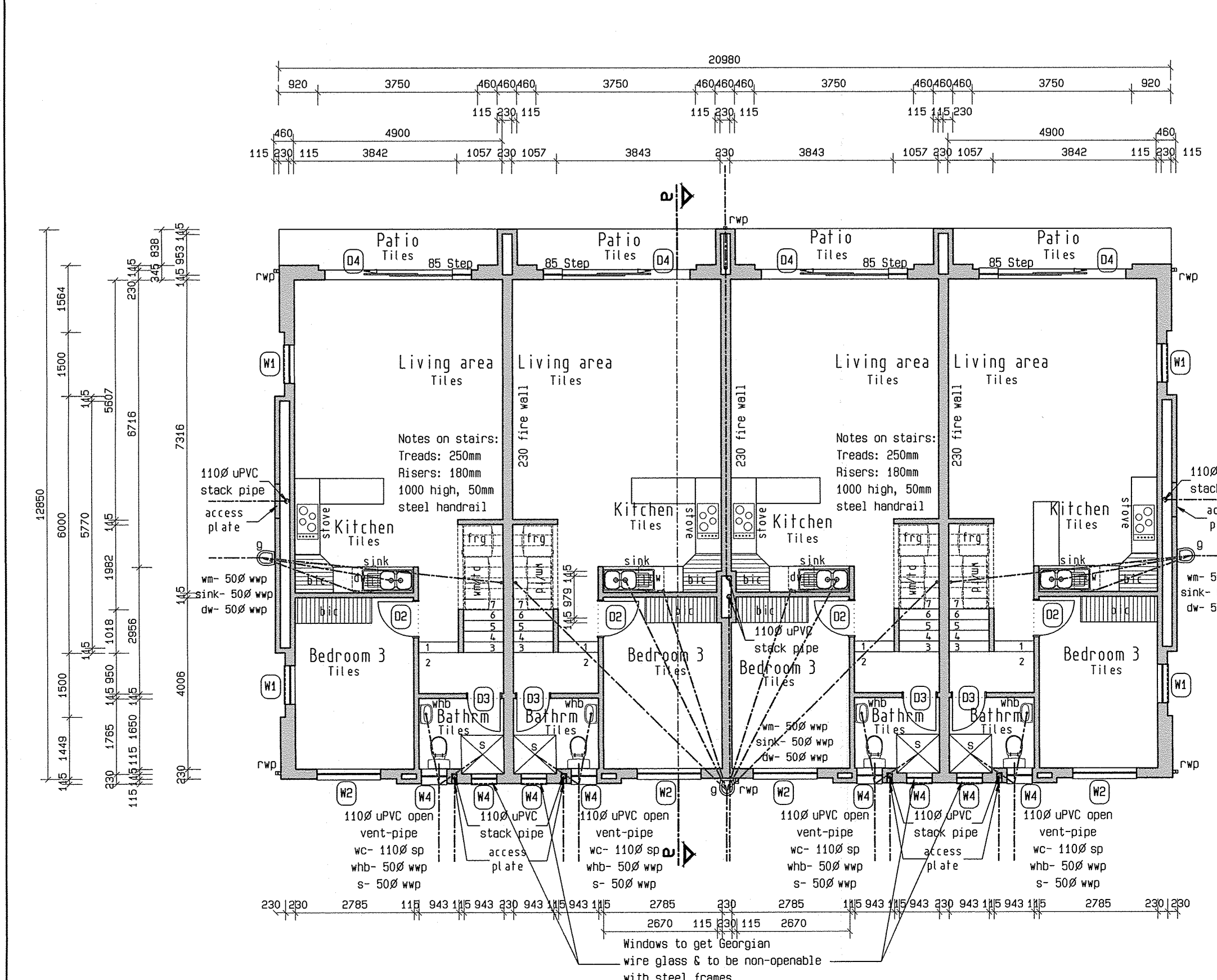
any pane of glass installed in any door shall, be safety glass and shall have a nominal thickness of not less than 6 mm, and doors not likely to be apparent to any person approaching them, shall bear markings.
Any glass lower than 500mm from floor finish shall be safety glass.

flashing note:
provide 50 mm flashing at all parapets and areas where the roof line changes

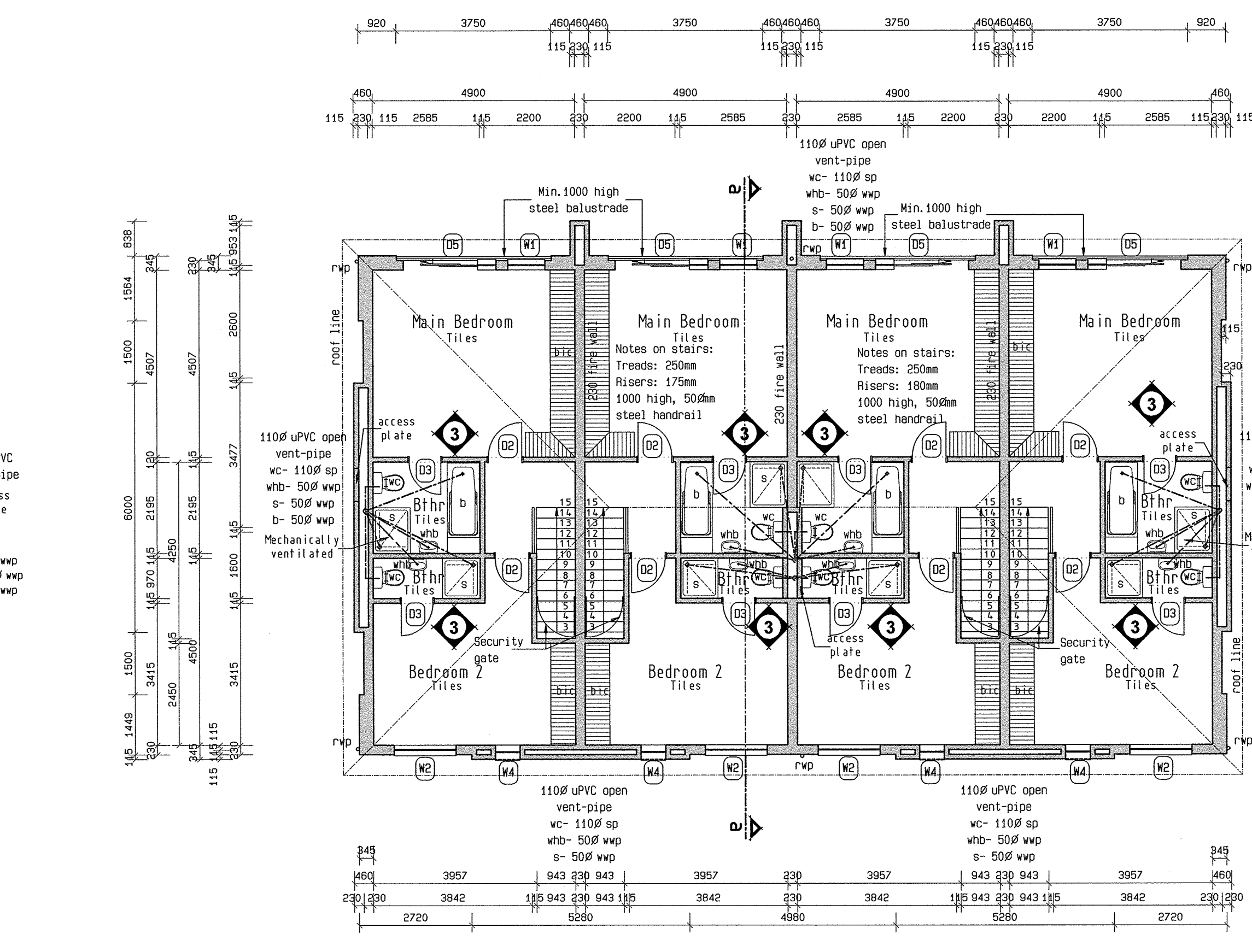
brickwork expansion joints:
refer to engineer for brickwork expansion joints

revisions
all drawings must be read in conjunction with one another notes on drawings apply to the project as a whole contact the architect for the latest list of drawings refer to drawing list for latest revisions on drawings

rev 2	Council drawings	04-10-2012
rev 3	Bathroom positions	24-02-2013



Ground floor plan
Scale 1: 100



First floor plan
Scale 1: 100

Swart & Associates
Architects
reg. no. 4552
242 Lange Street
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tel: +27 72 348 7000 fax: +27 72 348 7079

Project
New sectional title residential development on portion of stand 1705 Pretoriuspark x34, a portion of Garsfontein 374 JR

Description
Block D
Floor plans

Drawing No
1041-104

Date
25 Feb 2013

Drawn
JH

Checked
AS

Scale
as shown

Revision
3

1041-104 rev 3 (Block D floor plan) DW