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General notes:
1. All materials and construction methods to comply with the fully aware of the contents of this drawing, that it is the right of ownership on this drawing and that for the drawing to be scaled, any discrepancies or contradictions must immediately be pointed out to the architect or contractor by the contractor prior to construction.
2. The contractor must ensure that the drawing is not used for any other purpose without the written consent of the architect or contractor.
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Project:
New sectional development on the portion of stand 1705 Pretoriuspark x34, a portion of Garsfontein 374 JR

Description:
Block B Floor plans

1041-102
Date: 02 Oct 2012
Drawn: JH
Checked: AS
Scale: AS shown
Revision: 6

Owner/contractor/developer:
No construction may proceed on site prior to the approval of drawings by the local authority. Any building work that commences prior to building plan approval is completely at the owner's own risk. The architect may not be held responsible for any loss or damage whatsoever that may result from building works without approved building plans.

Contractor to check all levels and dimensions prior to commencement of any work.
Any discrepancies on drawings must be pointed out by the contractor to the architect prior to construction. If in doubt ask the architect.

Soil conditions:
The owner is responsible for soil tests.

Land surveyor note:
The site must be identified by a registered Land surveyor. The ownership of the Land must be verified prior to setting out of works.

All works to be set out by the land surveyor. The council must be issued with a lands surveyor's Certificate of confirmation.

Levels:
Levels are approximate and must be verified by the contractor prior to pricing and construction.

Certificates required:
The following certificates of compliance to SABS and NBR standards may be required from the contractor by the architect/owner:

- FOUNDATION CERTIFICATE: Engineer
- CHEMICAL TREATMENT OF SOIL: Specialist
- DPC: Council Inspector
- PLUMBING AND DRAINAGE: specialist sub-contractor
- ELECTRICAL INSTALLATION: specialist sub-contractor
- LAND SURVEYOR: Land surveyor
- CIVIL WORKS AND STORMWATER: engineer
- TRAFFIC AND ROAD MARKINGS: engineer
- FIRE SAFETY CERTIFICATE: specialist and/or council
- LIGHTNING PROTECTION: specialist sub-contractor
- ROOF STRUCTURE: specialist sub-contractor and/or engineer
- ROOF COVERING: specialist sub-contractor and/or engineer
- CONCRETE SLABS: specialist sub-contractor and/or engineer
- WATERPROOFING: specialist sub-contractor and/or engineer
- GLAZING: specialist sub-contractor
- MECHANICAL VENTILATION: specialist sub-contractor and/or engineer

Materials and finishes:
All finishing products such as window frames, roof tiles, tiles, cornices, etc must be approved by the developer/architect before ordering and installation.

All product used must comply to SABS standard and Local Authority Requirements.

Local Authority notes:
Building Standards:
All work must comply to the NATIONAL BUILDING REGULATIONS and applicable SABS and NBR standards.

Drawings may not be scaled for construction purposes.
All drawings must be read in conjunction with one another. Notes reflected on drawings apply for the entire project and works.

Any discrepancies on drawings must be pointed out by the contractor to the architect prior to construction and submission of tenders.

If in doubt ask the architect.
Drainage notes:
Soil pipes to be 100 mm dia. PVC - Fall min 1:60
Waste pipes to be 50 mm dia.
Waste fitting to have re-seal traps 60 mm deep

Provide anti-vac bottle traps to all waste fittings
IE's to all bends and junctions to have marked covers at ground level.

RE's to head of drain and at all changes of direction of soil pipes.
Foundations to be protected where soil pipes go under building.

Vent pipes to extend min 2.1m above window openings.

boundary walls:
All boundary wall foundations not to exceed site perimeter. Provide construction joints at between 4500 - 7500 centres if not indicated on boundary wall elevations

typical section
scale 1:50

Thickness	Max. height	Fiers
115	0.8	0
175	1.4	240 x 230 at 1600 centres
230	1.8	0
230	2.3	480 x 350 at 3500 centres

geyser note:
to comply with SABS 0254

balustrade note:
all balustrades must be min 1000 mm high with openings not larger than 100 mm
to be installed at all areas where a floor level difference of 450 mm occurs

Window openings on levels above ground floor, must be provided with a balustrade where an opening section is lower than 1000 mm aft

glazing:
ALL GLAZING TO COMPLY WITH NBR-PART N & SABS 0137
DIMENSIONS OF GLAZING
nominal glass thickness maximum size of pane, sqm

3mm	0.75
4mm	1.5
5mm	2.2
6mm	3.2

any pane of glass installed in any door shall, be safety glass and shall have a nominal thickness of not less than 6 mm, and doors not likely to be apparent to any person approaching them, shall bear markings.
Any glass lower than 500mm from floor finish shall be safety glass.

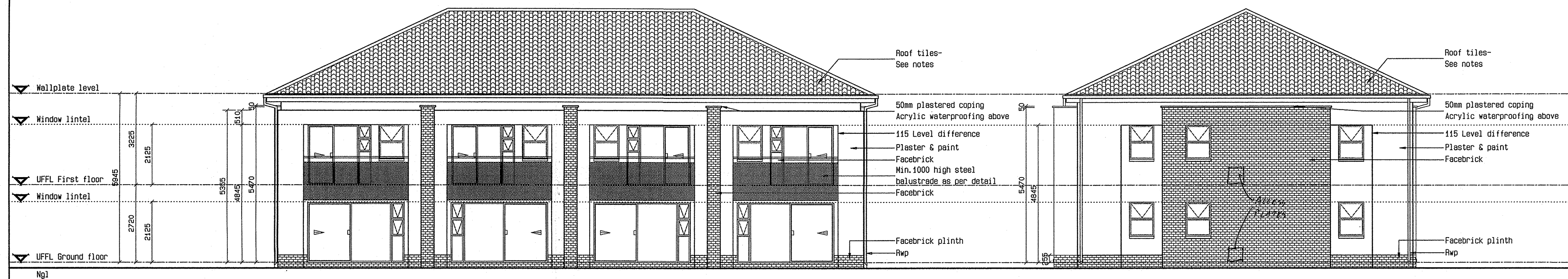
Any windows at staircases must be safety glass
flashing note:
provide 0.8 mm flashing at all parapets and areas where the roof line changes

brickwork expansion joints:
refer to engineer for brickwork expansion joints

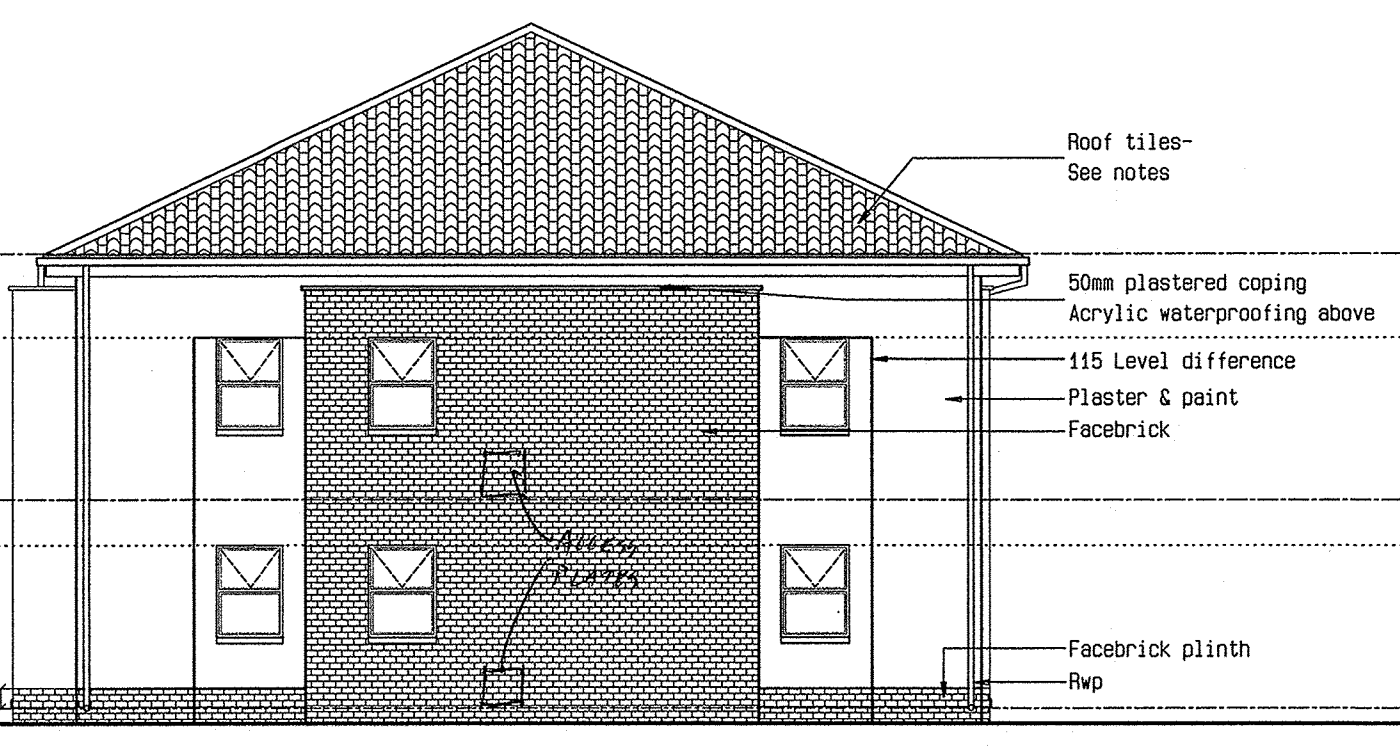
revisions
all drawings must be read in conjunction with one another
notes on drawings apply to the project as a whole
contact the architect for the latest list of drawings
refer to drawing list for latest revisions on drawings

Rev	Description	Date
Rev 8	Council drawings	02-10-2012

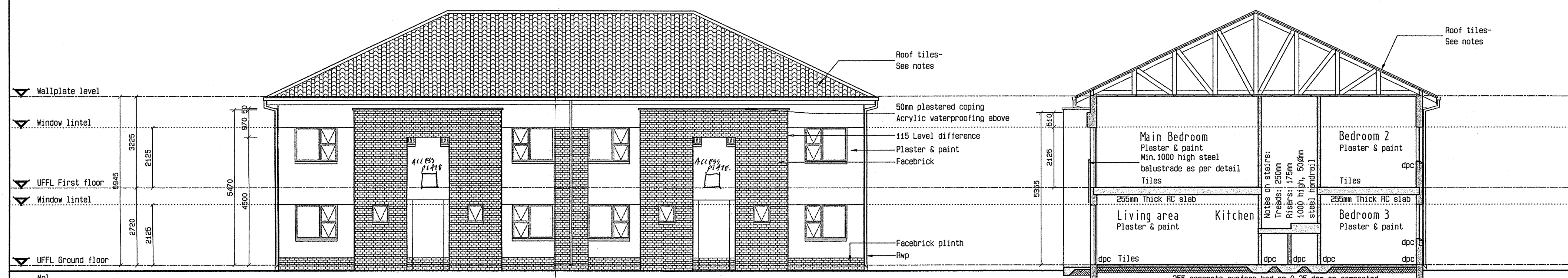
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Reedskewende Ingenieurs
CONSULTING ENGINEERS
D C Taljaard Pr Teg (Inp) 8670092
Datum/Date



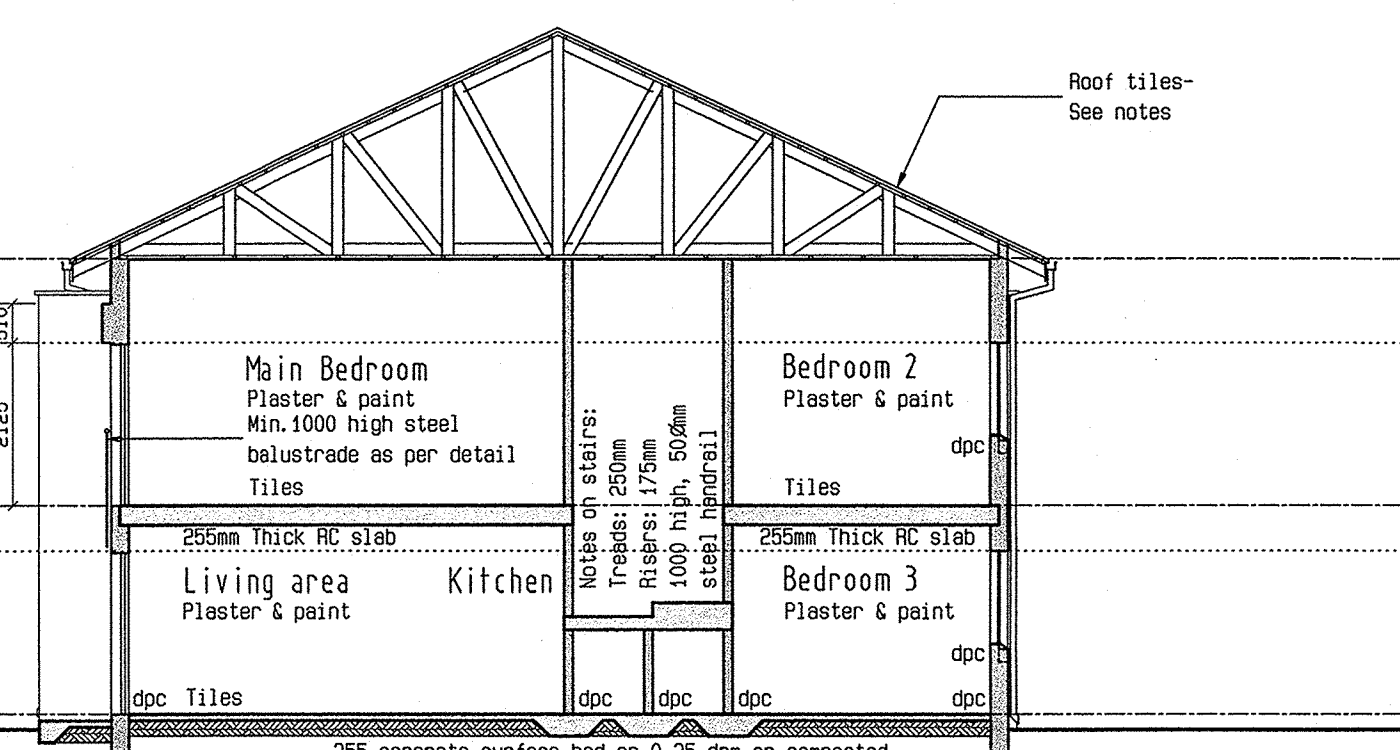
Front elevation
Scale 1:100



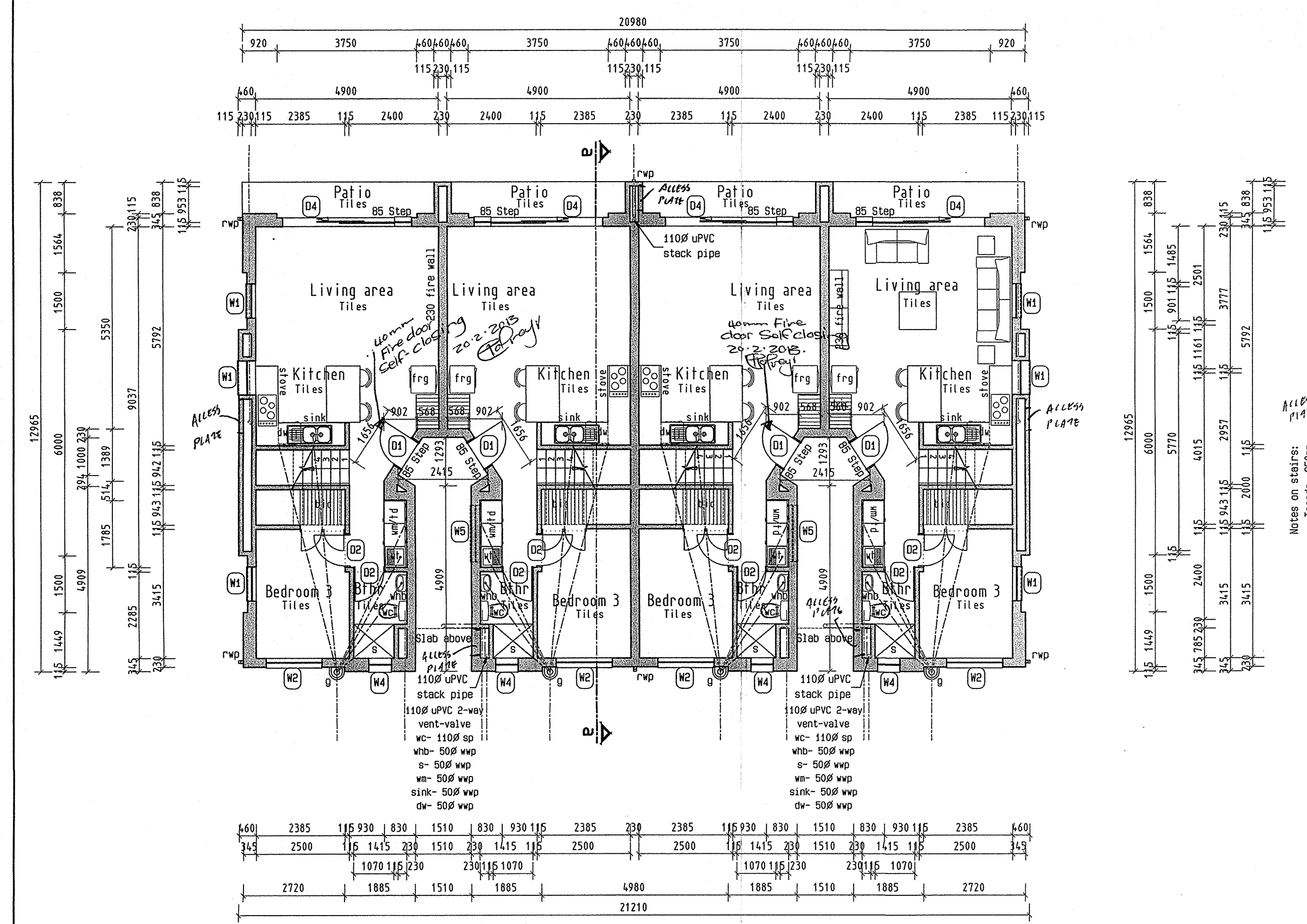
Side elevation
Scale 1:100



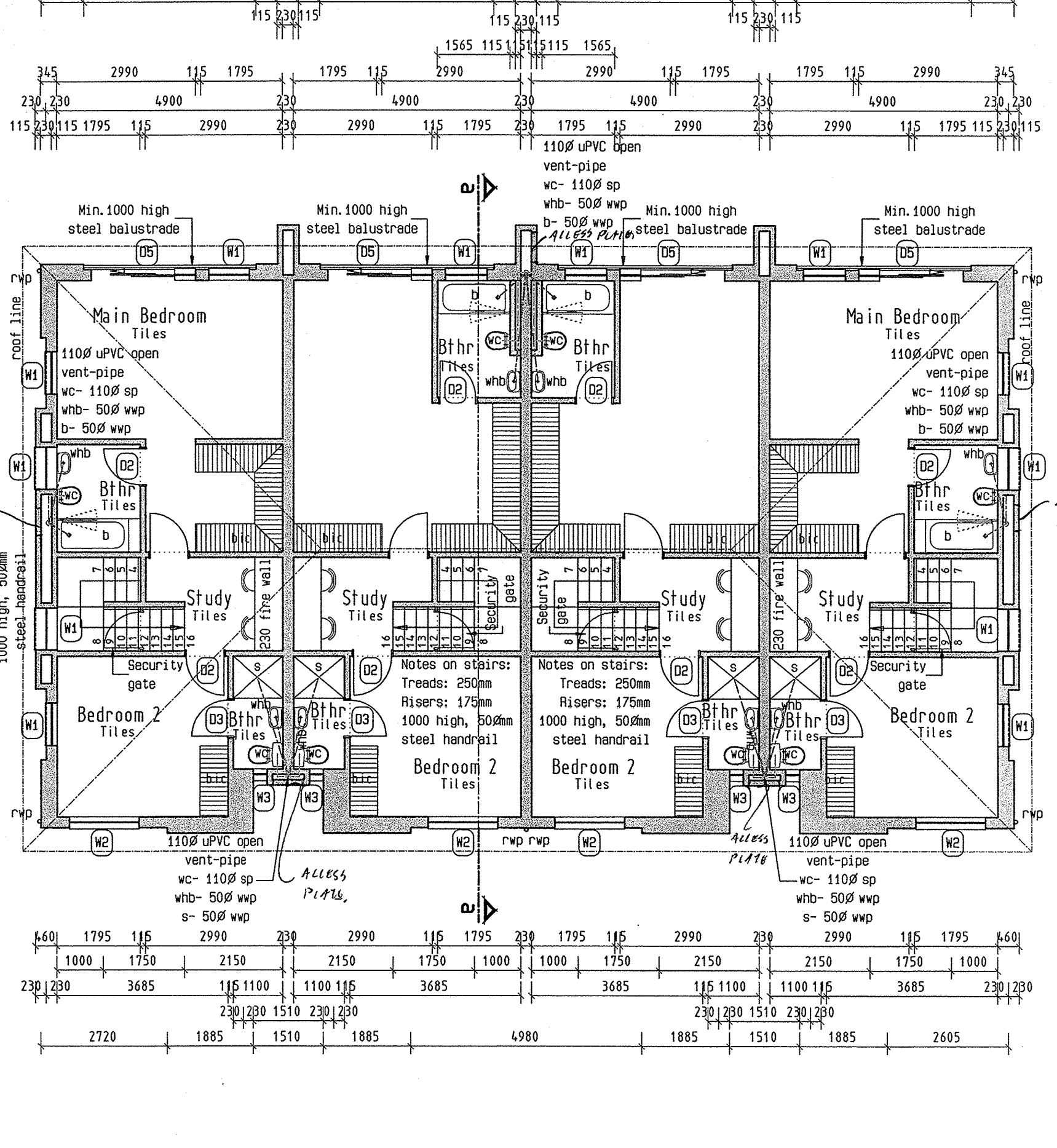
Rear elevation
Scale 1:100



Section AA
Scale 1:100



Ground floor plan
Scale 1: 100



First floor plan
Scale 1: 100

